

PRELIMINARY & FINAL SITE PLAN

PREPARED FOR

1652 PRINCETON AVENUE

BLOCK 103, LOTS 66, 67 & 68

SITUATE IN

LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

OWNERS LIST

Block	Lot	Owner	Address	City/Town	Zip	Land Use
102	1, 2	SKORA, ROMAN LUX	971 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	3, 4, 5	NUSSE, RONALD LUX	969 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	6, 7, 8	JASKOWIA, TOMASZ J & SWA	957 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	9, 10	GONZALEZ RODRIGUEZ, GUIMERINDO	955 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
83, 84		BERSENY, CANDACE	68 MYRTLE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
85		RIVERA, JAVIER	74 MYRTLE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
86		CIRCLE MANAGEMENT	724 HIGHWAY 33	HAMILTON, NJ	08519	COMMERCIAL
87		PADALINO, BARTOLO & ROSA	144 OLD DENZOW RD	LAWRENCEVILLE, NJ	08648	COMMERCIAL
88		SUN HASSEL & ELLA	1634 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
89, 90		PAK, JUNG GEE & GIE YOL	965 OAKS ST	LAMBERTVILLE, NJ	08530	COMMERCIAL
103	1	RUSIN, CZESLAW & ZOFIA	1990 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	2, 3	NTKEMEZ, DAMIAN	71 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	4	PISANKO, BONIFACI	61 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	5	MODELECKI, JANA & GOTYNSKA, B & J	59 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	6	HAMBLEY, GERALDINE B	1041 POTTS MILL RD	BORDENTOWN, NJ	08805	RESIDENTIAL
	7	CASTILLO, FRANCIS	51 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	8	GLOMINA, ANASTASIA	49 VERMONT AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	95, 96	CICHOCKA, MARCELA	954 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	97, 98	GONKA, ROSAL & JOSEPH S	956 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	99, 100	LITWIN, EWA	968 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	101, 102	POJAK, MICHAEL J	960 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	103, 104	ALI, MOHAMMAD S	962 PINE ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	105	MARTYNIK, ANTHONY	1900 BRUNSWICK PINE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	106, 107	RUSIN, CZESLAW & ZOFIA	1990 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	108, 109	TO VERMONT, LLC	75 VERMONT AVE	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	110	KORP-SINSKI, JESSICA	60 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	111	KOLODKO, ANNA	12 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	112	ROBATI, KORNEL J & HORACE, J JR	68 VERMONT ST	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	113	CHAUDHRY, SOBHAATA	781 LAWR PENN RD	LAWRENCEVILLE, NJ	08648	RESIDENTIAL
	114	RYAN, ROBERT LEE & CO, LLC	109 DISPATCH DRIVE	WASHINGTON CROSSING, PA	19377	RESIDENTIAL
	115	VENTIGLI, PHILIP A	107 JON AVENUE	TRENTON, NJ	08650	COMMERCIAL
201		TRENTON MKT GROWERS COOP ASSN	966 SPRUCE ST	LAWRENCEVILLE, NJ	08648	COMMERCIAL
	202	TRENTON MKT GRV CO, RYAN LLOJHART	2800 POST OAK BLVD #3700	HOUSTON, TX	77056	COMMERCIAL
	203	AMER, RAM M	112 LAWR PENN RD	LAWRENCEVILLE, NJ	08648	COMMERCIAL
	204	VERNON HWY 337 PROPERTY TAX	C/O CLIFF & PHILIP, PO 2749	ACORDON, TX	79001	COMMERCIAL
	31	MHP WANNER COMPANY LLC	1602 PENNINGTON ROAD	LYNDEN, NJ	08018 1304	COMMERCIAL
30, 34		KS PROPERTY INVESTMENT GROUP LLC	1917 PRINCETON AVE	LAWRENCEVILLE, NJ	08648	COMMERCIAL
35		PRIN AVE ASSOC LLC - ERMELIO OBLEADA	C/O 1 GREENFIELD DR NORTH	WEST WINDSOR, NJ	08850	COMMERCIAL

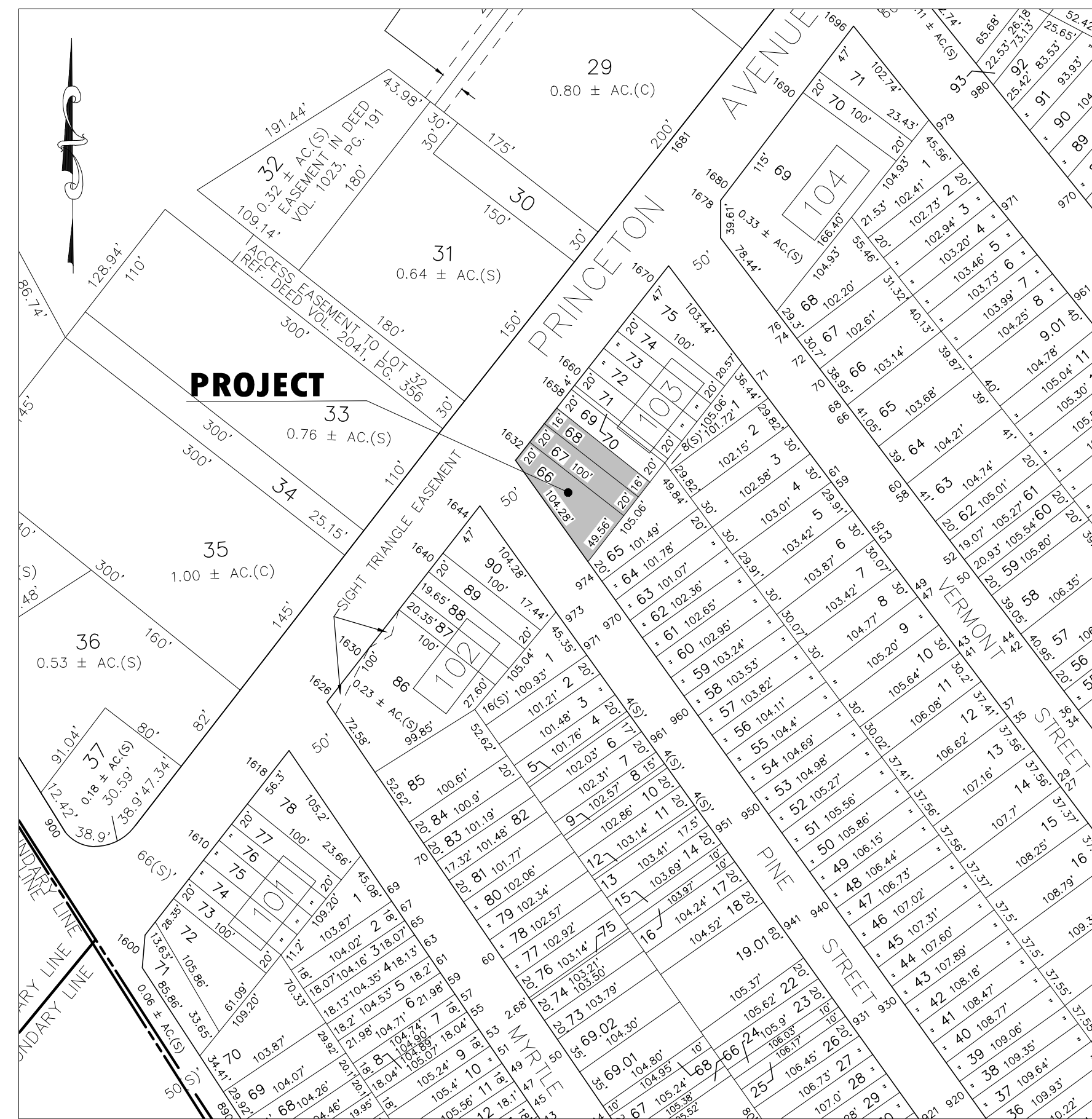
NOTE: THE RESIDENTIAL USES ON LOTS 65 & 69 (BLOCK 103) ARE SUBJECT TO A 25' BUFFER FROM THE PROPOSED COMMERCIAL USE. A VARIANCE IS REQUESTED FOR PROVIDING A FULL 25'-FOOT BUFFER.

AGENCIES REQUIRING NOTICE

Agency Name	Contact Person	Address	Phone	Fax	City/Town	Zip
Corporate Secretary Planning & Zoning Authority 100 Whitehead Road Lawrenceville, NJ 08648	Corporate Secretary Public Service Electric & Gas Company 80 Park Plaza, 4th Newark, NJ 07102	Bluebelltown Gas Company One Bluebelltown Plaza The Mill Run East Linden, NJ 07033-3975			Linden, NJ	07033-3975
N.J. American Water 1015 Laurel Oak Road Trenton, NJ 08646 ATTN: Diana Short	Corporate Secretary Trenton Water Works 140 North Street Trenton, NJ 08646	Corporate Secretary Verizon 140 North Street Newark, NJ 07102			Newark, NJ	07102
Aspen Water Company 1075 Mill Road Trenton, NJ 08611 ATTN: James Barbato	General Manager Dunwoody Calibration 140 Prospect Street Trenton, NJ 08618	Corporate Secretary AT&T 14747 Way Belleville, NJ 07003			Belleville, NJ	07003
RCN Corporation 101 Corporate Center Princeton, NJ 08540	Corporate Secretary Jenny Central Power and Light 300 Madison Avenue Morristown, NJ 07960	Corporate Secretary Sunoco 1000 Sunoco Building Houston, TX 77056			Houston, TX	77056
Mercer County Planning Board 140 South Broad Street P.O. Box 8008 Trenton, NJ 08646-8008	Commissioner N.J. Department of Transportation 2015 Parkway Avenue, CN 0000 Trenton, NJ 08625	Commissioner Sunoco Pipeline, L.P. Night of Day Department 1015 Parkway Avenue, CN 0000 Trenton, NJ 08625			Trenton, NJ	08625

SHEET INDEX

- 1 COVER SHEET
 - 2 AERIAL MAP
 - 3 DEMOLITION PLAN
 - 4 SITE PLAN
 - 5 GRADING & UTILITY PLAN
 - 6 LANDSCAPING PLAN
 - 7 LIGHTING PLAN
 - 8 TRAFFIC CONTROL PLAN
 - 9 - 11 CONSTRUCTION DETAILS
- SUPPLEMENTAL SHEETS**
- 1 BOUNDARY & TOPOGRAPHIC SURVEY



KEY MAP

SCALE: 1"=100'

REQUIRED REGULATORY APPROVALS

- MERCER COUNTY PLANNING BOARD
- EWING - LAWRENCE SEWERAGE AUTHORITY
- TRENTON WATER WORKS

OWNER & APPLICANT:

MITCH BROWN
CIRCLE MANAGEMENT
724 ROUTE 33
HAMILTON, NJ 08619

I/WE ARE THE OWNER OF THE PROPERTY AS DESIGNATED AND SHOWN HERON AND HEREBY APPROVE THE FILING OF THIS PLAN WITH THE TOWNSHIP OF LAWRENCE ZONING BOARD.

MITCH BROWN  5/24/21
DATE

ACREAGE SUMMARY

LOT-66 3,478 S.F./ 0.080 AC.
LOT-67 2,000 S.F./ 0.046 AC.
LOT-68 1,600 S.F./ 0.036 AC.
TOTAL LOTS 66,67&68 7,078 S.F./ 0.162 AC.

LAWRENCE TAX MAP INFORMATION:

BLOCK 103
LOTS 66, 67 & 68
SHEET 1

RECORD DEED INFORMATION:

BLOCK-103, LOTS 66, 67 & 68
DEED BOOK -6312
PAGE 1679

APPROVAL SIGNATURES

APPROVED BY THE TOWNSHIP OF LAWRENCE ZONING BOARD:

CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

MUNICIPAL ENGINEER _____ DATE _____

PREPARED BY



Van Cleef
ENGINEERING ASSOCIATES

With Offices In
New Jersey, Pennsylvania & Delaware

SOUTH CENTRAL NEW JERSEY OFFICE
4 AAA DRIVE, SUITE 103 HAMILTON, NJ 08619
EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE (609) 689-1100 FAX (609) 689-1120

Consulting Civil Engineering
Bridge Design
Highway Design
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Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. NO. 24GA028132300

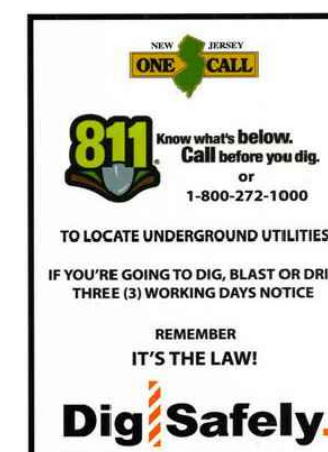
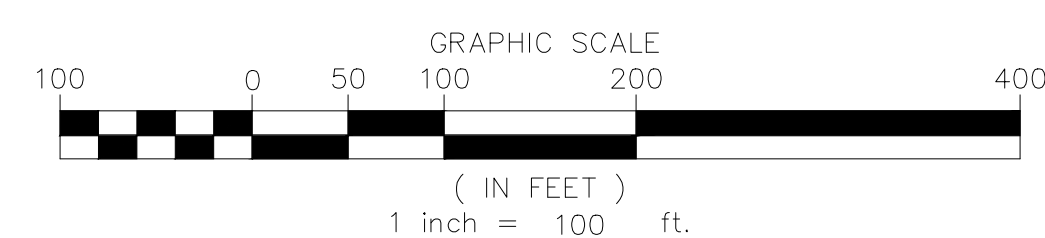
BY:  DATE: 2/10/22
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800

REVISIONS	DATE	AUTH.	DATE
REVISIONS PER NEW BLDG FOOTPRINT	JAB	2/10/22	
REVISIONS PER TOWNSHIP COMMENTS	JAB	5/24/21	
REVISIONS PER COMPLETENESS REVIEW	JAB	1/4/21	
REVISIONS	AUTH.	DATE	



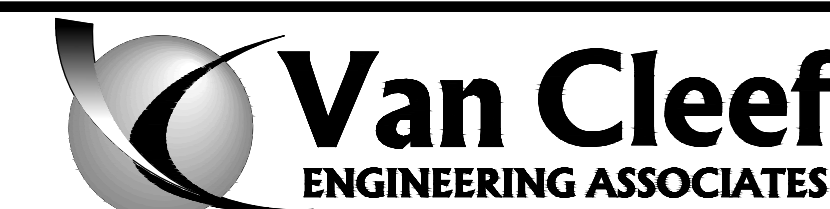
GENERAL NOTES:

1. THIS AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON AERIAL PHOTOGRAPHY OF THE STATE OF NEW JERSEY FURNISHED ON THE NJON WEB SITE IN 2015. THE CONDITIONS OF THE SITE AND SURROUNDING AREA MAY HAVE CHANGED SINCE THE DATE OF THE PHOTOGRAPHY AND THEREFORE THE PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.
2. THIS MAP SHALL SERVE TO SHOW ALL SIGNIFICANT FEATURES WITHIN 2,000 FEET OF THE PROPERTY IN QUESTION, INCLUDING SCHOOLS, PARKS, MAJOR STREETS, ZONING BOUNDARIES, MAJOR SHOPPING CENTERS AND EMPLOYMENT CENTERS AS REQUIRED ON HAMILTON TOWNSHIP CHECKLIST FORM NUMBER 2C.
3. THERE ARE NO FLOOD HAZARD AREAS, FLOODWAYS OR AREA WITHIN THE 500-YEAR FLOODPLAIN LOCATED ON THE PROPERTY IN QUESTION OR ITS ADJOINING PROPERTIES.



DATE:	JULY 1, 2020
SCALE:	1"=100'
DESIGNED BY:	J.A.B.
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE JOB NO. 1804LA

BY:  DATE: 2/10/22
 JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800



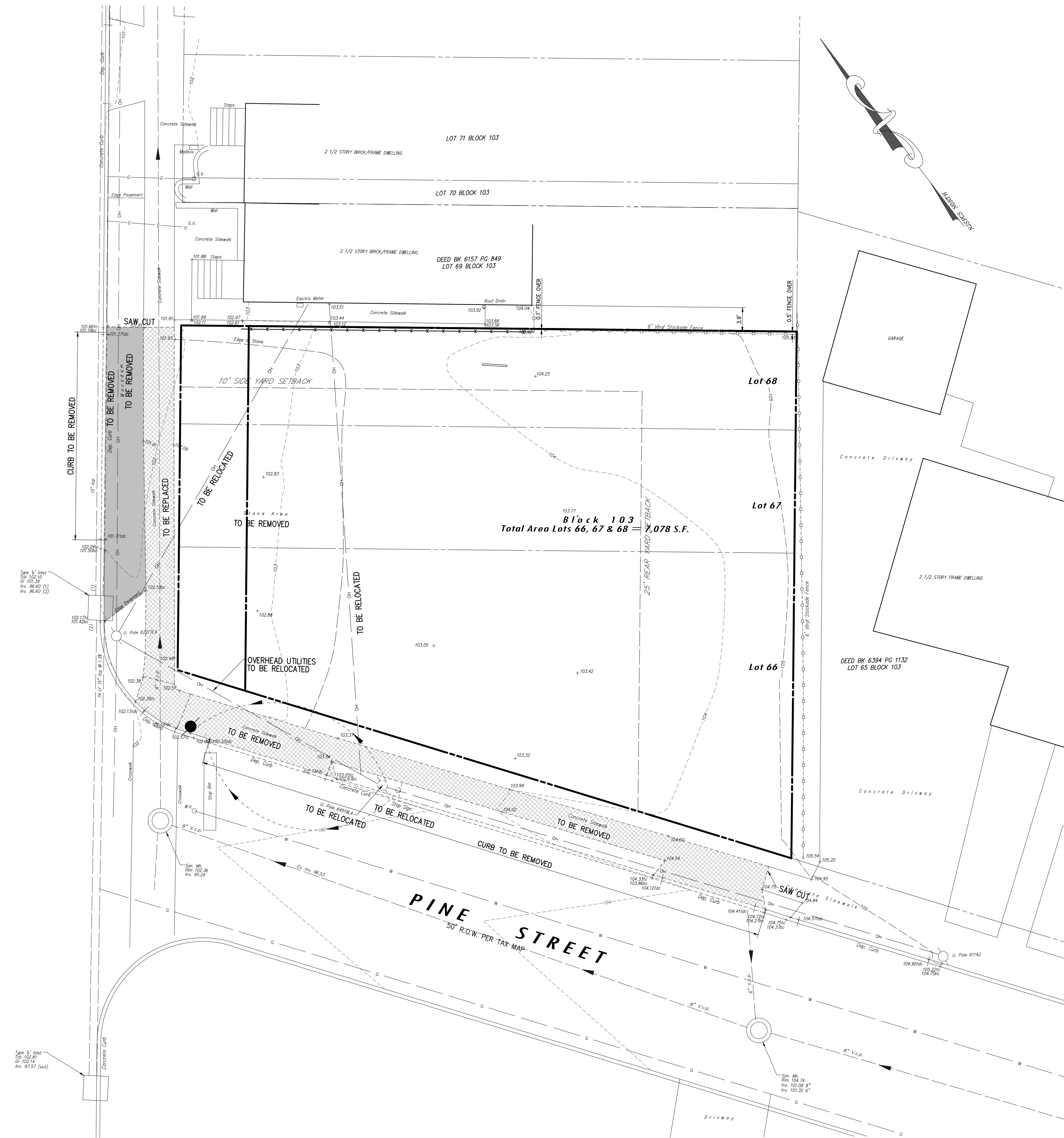
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 Highway Design
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 NJ LLC CERT. No. 24GA28132300

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 New Jersey, Pennsylvania & Delaware

SOUTHCENTRAL NEW JERSEY OFFICE
 4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08691
 EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
 PHONE: (609) 689-1100 FAX: (609) 689-1120

AERIAL MAP
 PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
 SITUATE IN
 LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

COUNTY ROUTE 583
PRINCETON AVENUE
66' R.O.W. TAX MAP



EXISTING	LEGEND	PROPOSED
	SANITARY SEWER	
	STORM SEWER	
	FLARED END SECTION	
	DRAINAGE INLET	
	DRAINAGE MANHOLE	
	HEADWALL	
	SANITARY SEWER MANHOLE	
	FIRE HYDRANT	
	SIGN	
	UTILITY POLE	
	VALVE	
	WATER MAIN	
	GAS MAIN	
	ELECTRIC LINE	
	TELEPHONE LINE	
	GRADE ELEVATION	
	CONTOUR ELEVATION	
	TO BE REMOVED	
	BOLLARD	
	CONCRETE REMOVAL	
	PAVEMENT REMOVAL	
	PAVEMENT MILLING	
	TO BE REMOVED	

REFERENCE PLANS:
1. RIGHT OF WAY AND PROPERTY LINES TAKEN FROM FILED MAPS, DEEDS AND TAX MAPS AND COMBINED WITH R.O.W. & PROPERTY CORNER MARKER FOUND WHEN FIELD SURVEY WAS PERFORMED.

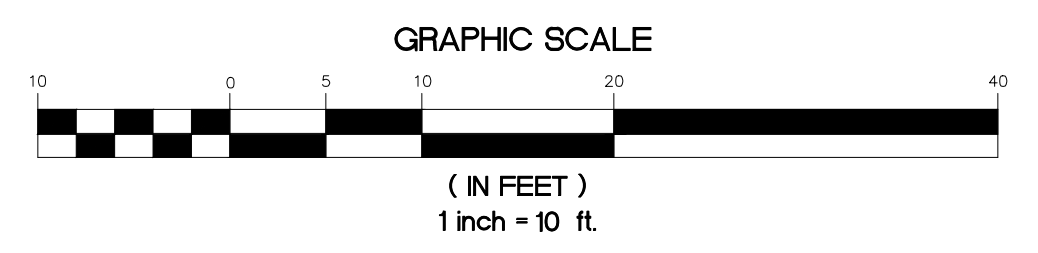
REFERENCE DATUM:
1. DATUM USED BASED ON NAVD83 AND NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD83

LAWRENCE TOWNSHIP TAX MAP INFORMATION
BLOCK ----- 103
LOTS ----- 66, 67 & 68
SHEET ----- 1

RECORD DEED INFORMATION
BLOCK-103, LOTS 66, 67 & 68 ----- 6312
DEED BOOK -----
PAGE ----- 1679

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 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARKOUTS.
 - ABOVE GROUND PHYSICAL FEATURES AS SHOWN ARE BASED ON FIELD SURVEY.
 - BOUNDARY INFORMATION BASED ON THE REFERENCED DEEDS, BEARING SHOWN ARE IN NAD 83.
 - SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY AND EXCEPTIONS OF RECORD.
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DEMOLITION PLAN
SCALE : 1"=10'



811
Call before you dig.
1-800-272-1000

TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL
THREE (3) WORKING DAYS NOTICE

REMEMBER
IT'S THE LAW!
RECORDARSE
ES LA LEY!
EXCAVE CON SEGURIDAD
Dig Safely.

NEW JERSEY
UNIL 11-000033
LLAME ANTES DE EXCAVAR
811
1-800-272-1000

PARA LOCALIZAR LAS UTILIDADES SUBTERRANEAS
SI VAYEN A EXCAVAR, INSTALAR UN 811 ANTES
DE ARROJARSE A EXCAVAR
RECORDARSE
ES LA LEY!
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DATE:	JULY 1, 2020
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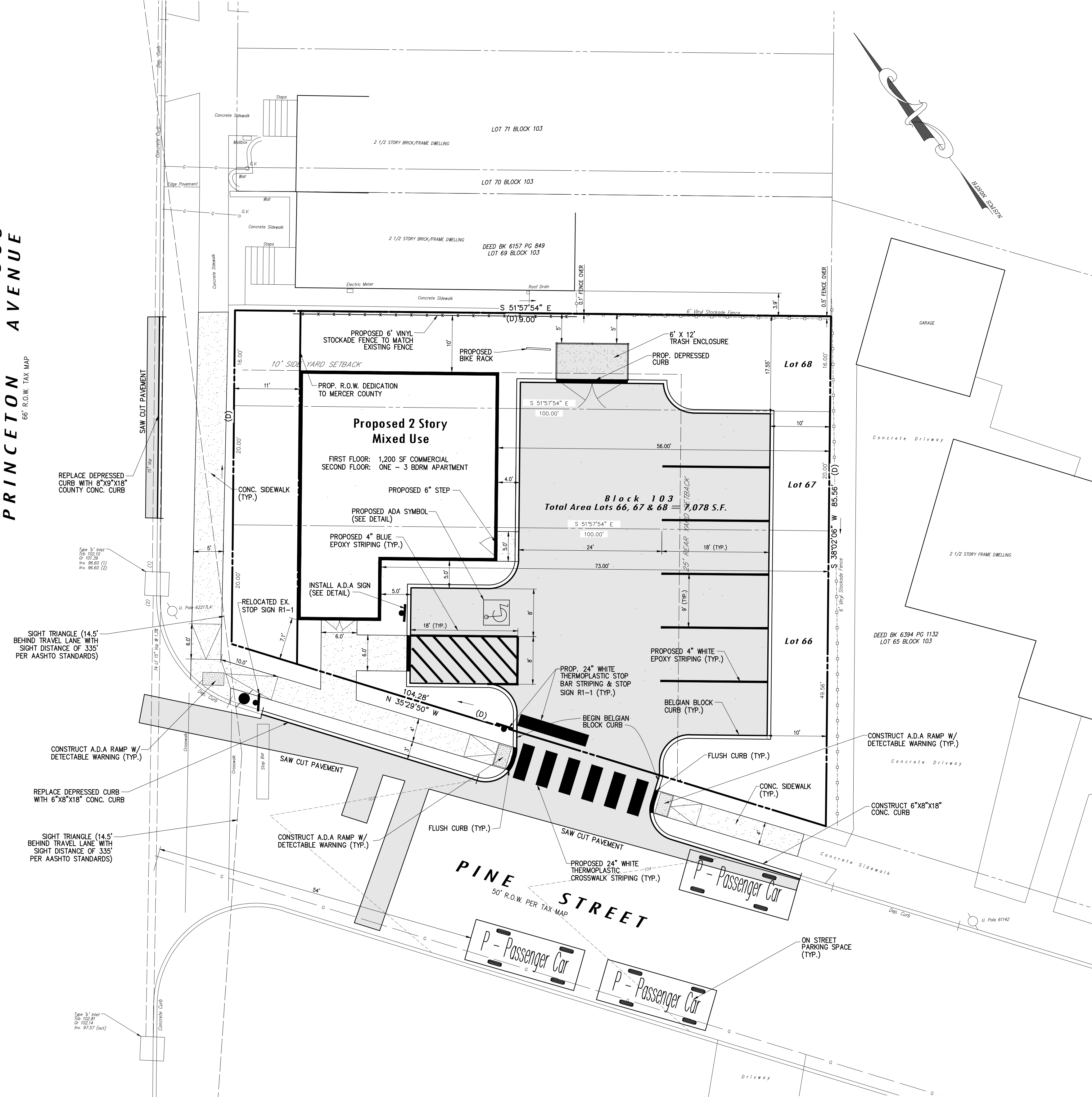
NJ LLC CERT. No. 24GA2813200

DEMOLITION PLAN
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

3
11

COUNTY ROUTE 583
PRINCETON AVENUE

66' R.O.W. TAX MAP



LEGEND

EXISTING	PROPOSED
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Flared End Section	Flared End Section
Drainage Inlet	Drainage Inlet
Drainage Manhole	Drainage Manhole
Headwall	Headwall
Sanitary Sewer Manhole	Sanitary Sewer Manhole
Fire Hydrant	Fire Hydrant
Sign	Sign
Utility Pole	Utility Pole
Valve	Valve
Water Main	Water Main
Gas Main	Gas Main
Electric Line	Electric Line
Telephone Line	Telephone Line
Grade Elevation	Grade Elevation
Contour Elevation	Contour Elevation
To Be Removed	To Be Removed
Bollard	Bollard

SCHEDULE OF REQUIREMENTS - NEIGHBORHOOD CENTER 1 (NC-1) DISTRICT

ZONE REQUIREMENT	NC-1 ZONE REQUIREMENTS	PROPOSED
MINIMUM LOT AREA	5,000 SF	7,078 SF
MINIMUM LOT FRONTAGE	50 FT	56 FT
MINIMUM LOT WIDTH	50 FT	56 FT
MINIMUM LOT DEPTH	90 FT	100 FT
MINIMUM FRONT YARD	0 FT	7.1 FT
MINIMUM SIDE YARD	10 FT	10 FT
MINIMUM REAR YARD	25 FT	56 FT
MINIMUM ACCESSORY SETBACK	5 FT	5 FT
PERMISSIBLE SURFACE RATIO	0.8	0.607
FLOOR AREA RATIO	0.3	0.34 (V)
MAXIMUM BUILDING SIZE	10,000 SF	1,215 SF

(V) = VARIANCE REQUESTED

PARKING REQUIREMENTS
REQUIRED:
COMMERCIAL = 1 PER 200 SF
1,20 SF = 6 SPACES REQ.
3 BEDROOM APARTMENT = 2.1 SPACES
1 APARTMENT = 2.1 SPACES
TOTAL REQUIRED = 8.1 SPACES

PROVIDED:
ON SITE PARKING = 7 SPACES (VARIANCE REQUIRED)
ON STREET PARKING = 3 SPACES
TOTAL PROVIDED = 10 SPACES

REFERENCE PLANS:
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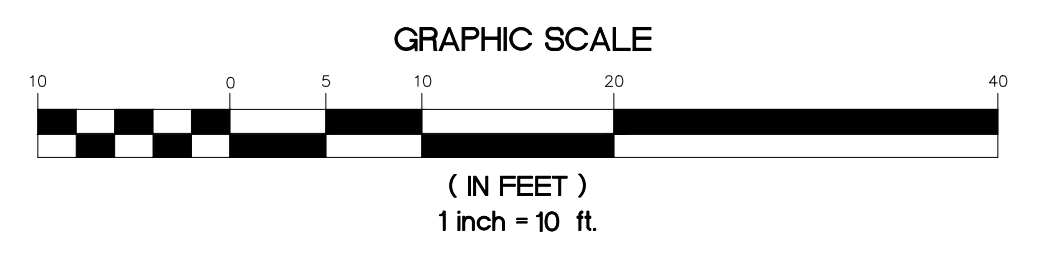
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LAWRENCE TOWNSHIP TAX MAP INFORMATION
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RECORD DEED INFORMATION
BLOCK-103, LOTS 66, 67 & 68
DEED BOOK ----- .6312
PAGE ----- 1679

- SURVEY NOTES:**
- THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON JUNE 19, 2020.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARKOUTS.
 - ABOVE GROUND PHYSICAL FEATURES AS SHOWN ARE BASED ON FIELD SURVEY.
 - BOUNDARY INFORMATION BASED ON THE REFERENCED DEEDS, BEARING SHOWN ARE IN NAD 83.
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SITE PLAN
SCALE: 1"=10'



811 *Know what's below. Call before you dig.*
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TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL
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REQUISITO
ES LA LEY!
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Dig/Safely.

DATE:	JULY 1, 2020
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DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
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REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE JOB NO. 1804LA

BY: *James A. Bash* DATE: 2/10/22
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800

Van Cleaf ENGINEERING ASSOCIATES
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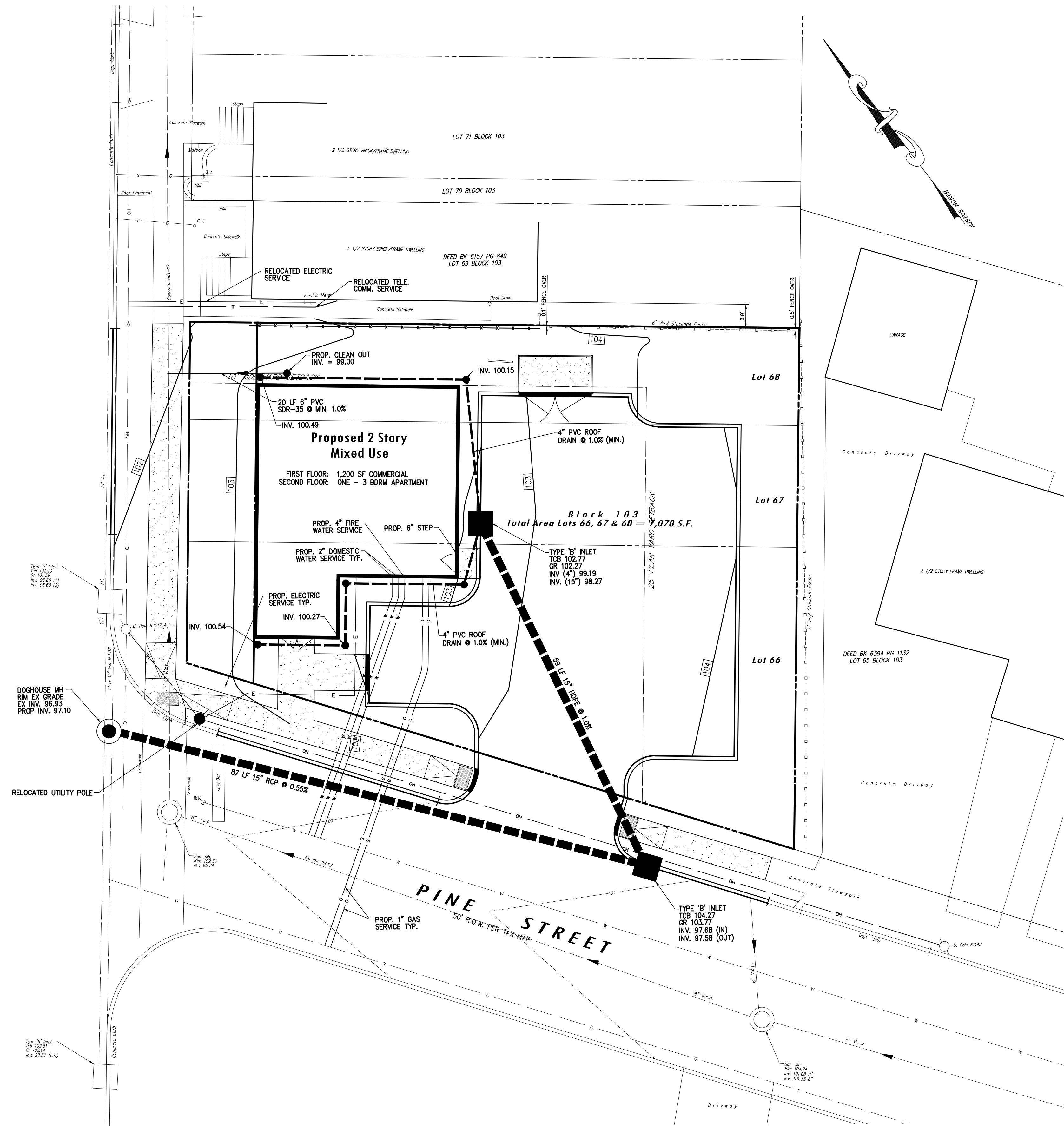
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EXISTING	LEGEND	PROPOSED
	SANITARY SEWER	
	STORM SEWER	
	FLARED END SECTION	
	DRAINAGE INLET	
	DRAINAGE MANHOLE	
	HEADWALL	
	SANITARY SEWER MANHOLE	
	FIRE HYDRANT	
	SIGN	
	UTILITY POLE	
	VALVE	
	WATER MAIN	
	GAS MAIN	
	ELECTRIC LINE	
	TELEPHONE LINE	
	GRADE ELEVATION	
	CONTOUR ELEVATION	
	TO BE REMOVED	
	BOLLARD	

REFERENCE PLANS:
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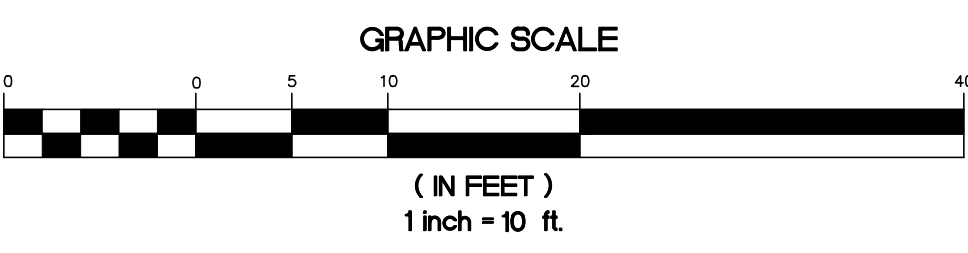
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1. DATUM USED BASED ON NAVD83 AND NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD83

LAWRENCE TOWNSHIP TAX MAP INFORMATION
BLOCK ----- 103
LOTS ----- 66, 67 & 68
SHEET ----- 1

RECORD DEED INFORMATION
BLOCK-103, LOTS 66, 67 & 68
DEED BOOK ----- 6312
PAGE ----- 1679

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GRADING & UTILITY PLAN
SCALE: 1"=10'



DATE:	JULY 1, 2020
SCALE:	1"=10'
DESIGNED BY:	J.A.B.
REVISIONS PER NEW BLDG FOOTPRINT	JAB 2/10/22
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
DRAWN BY:	R.R.F.
CHECKED BY:	J.A.B.
REVISIONS	AUTH. DATE JOB NO. 1804LA

BY: DATE: 2/10/22
JAMES A. BASH N.J. PROFESSIONAL ENGINEER No. 24GE05225800

Van Cleaf ENGINEERING ASSOCIATES
 SOUTH CENTRAL NEW JERSEY OFFICE
 4 ASA DRIVE, SUITE 103 HAMILTON, NJ 08611
 EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
 PHONE (609) 689-1100 FAX (609) 689-1120
 NJ LLC CERT. No. 24GA2813200

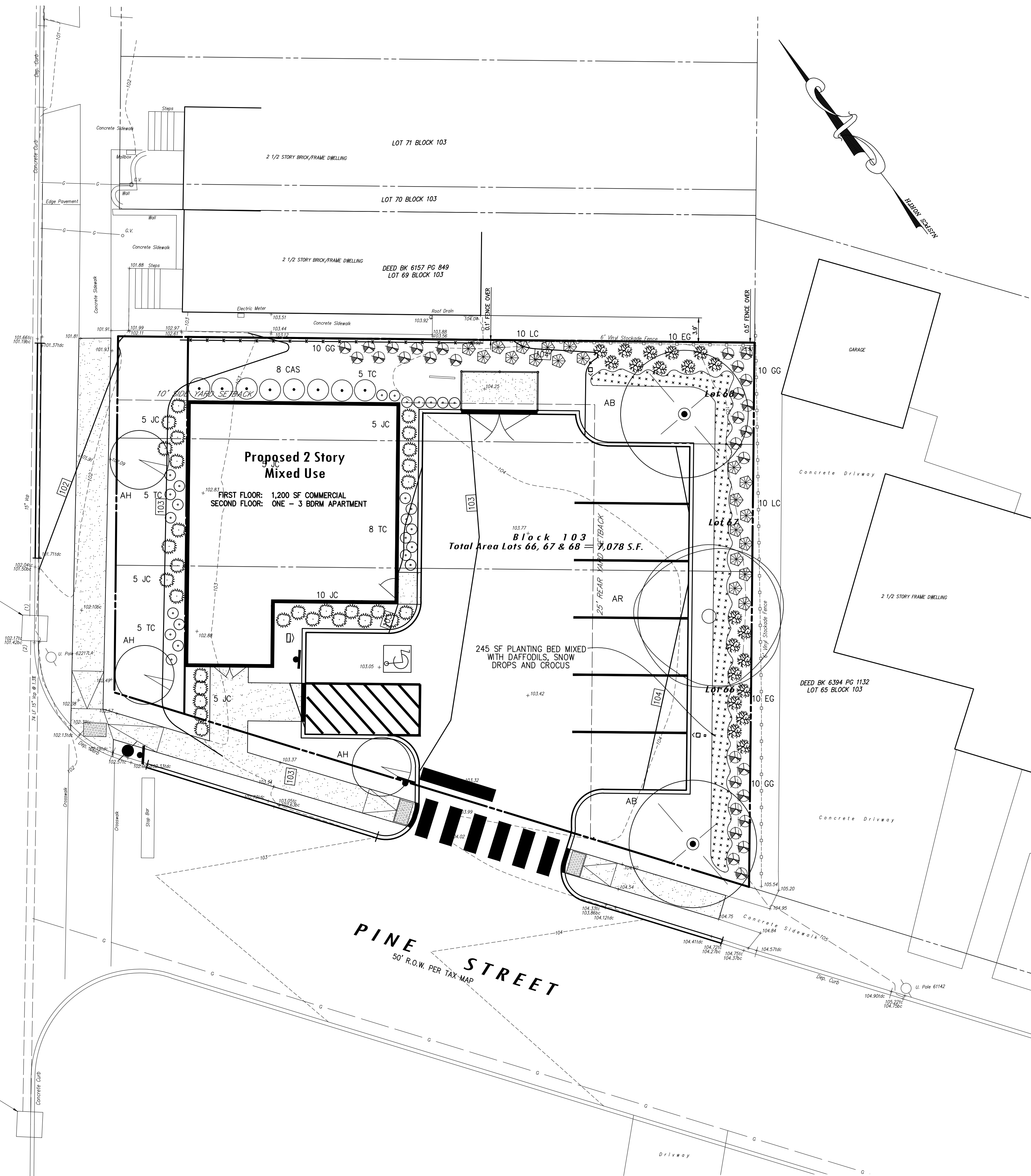
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 Water / Wastewater
 Municipal Engineering
 Land Surveying
 Professional Planning
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With Offices In
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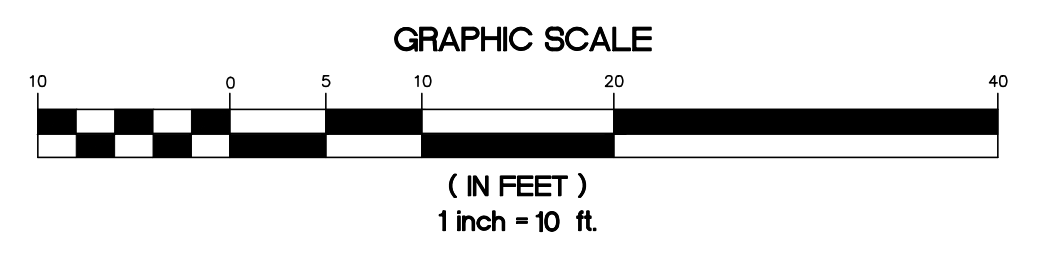
GRADING & UTILITY PLAN
 PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
 SITUATE IN
 LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

COUNTY ROUTE 583
PRINCETON AVENUE

66' R.O.W. TAX MAP



LANDSCAPING PLAN
SCALE: 1"=10'



811 **Call before you dig.**
1-800-272-1000
TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL
THREE (3) WORKING DAYS NOTICE
REMEMBER
IT'S THE LAW!
ES LA LEY!
EXCAVE CON SEGURIDAD
Dig Safely.

LLAME ANTES DE EXCAVAR
811
1-800-272-1000
PARA LOCALIZAR LAS UTILIDADES SUBTERRANIAS
SI VAS A EXCAVAR, BASTARTE UN DIA ANTES.
DE AVISARLES ES LA LEY!
EXCAVE CON SEGURIDAD
Dig Safely.

LANDSCAPE SCHEDULE:

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	REMARKS
TREES					
AB	2	Acer Buergerianum	Trident Maple	2 1/2"-3" CAL.	B&B
AH	3	Amelanchier x hybrida 'Cumulus'	Shadblo 'Cumulus'	2 1/2"-3" CAL.	B&B
AR	1	Acer Rubrum 'Red Sunset'	Red Sunset Red Maple	3"-3.5" CAL.	B&B
SHRUBS					
CAS	8	Cornus Alba Sibirica	Tratarian Dogwood	3'-4' HT.	#3 CAN
TC	18	Taxus cuspidata densiformis	Dense Yew	3.5'-4' HT.	#3 CAN
JC	30	Juniperus Chinensis glauca hetzi	Hetz Juniper	2.5'-3' HT.	#3 CAN
GG	30	Thuja Stanishii x Plicata 'Green Giant'	Green Giant	5'-6' HT.	#3 CAN
LC	20	x Hesperotroxis leylandii	Leyland Cypress	5'-6' HT.	#3 CAN
EG	20	Thuja occidentalis	Emerald Green Arborvitae	5'-6' HT.	#3 CAN

B&B = BALL & BURLAP PLANTING METHOD

GENERAL LANDSCAPE NOTES:

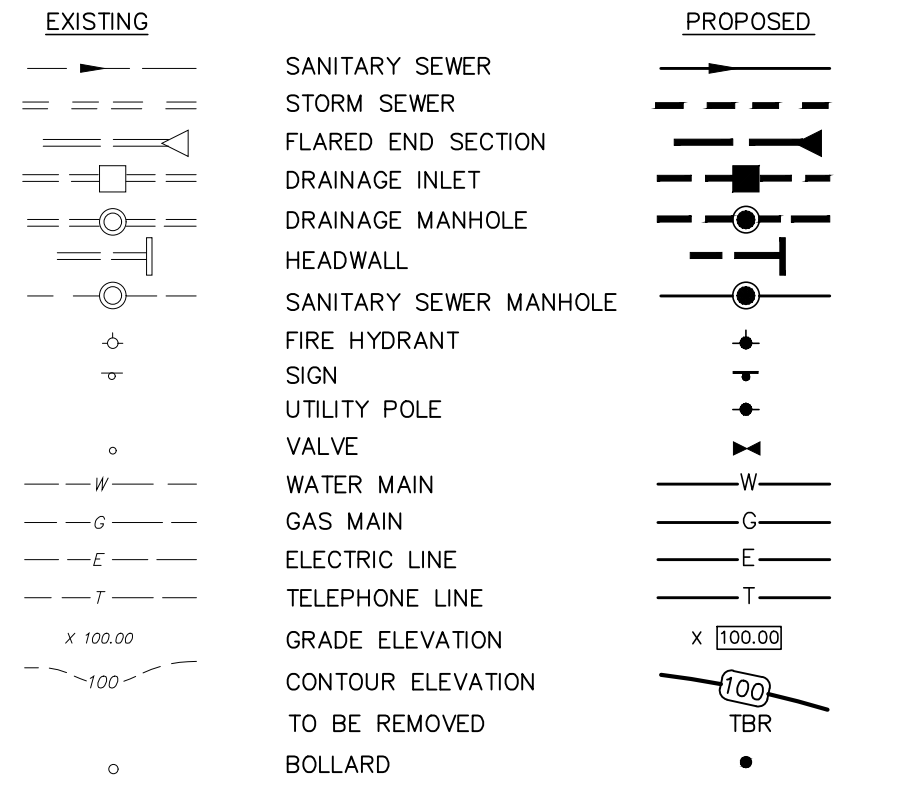
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, AND SHALL HAVE NORMAL WELL-DEVELOPED BRANCHES AND WOOLY FIBROUS ROOT SYSTEMS. ALL PLANTS SHALL BE NURSERY-GROWN UNLESS OTHERWISE STATED. THEY SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE MUNICIPALITY FOR AT LEAST TWO (2) YEARS PRIOR TO DATE OF PLANTING. ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR CONDITION OR WHICH ARE NOT TRUE TO NAME SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE PLANTS.
- ALL PLANT MATERIAL SHALL BE TWICE TRANSPLANTED, NURSERY-GROWN OF SPECIMEN QUALITY. THEY SHALL BE OF SYMMETRICAL GROWTH OR TYPICAL OF THE VARIETY AND SUPPLIED FROM SOURCES IN THE SAME HARDNESS ZONE AS THE DEVELOPMENT IS LOCATED AND FREE OF INSECT AND DISEASE PROBLEMS OR QUESTIONABLE DISPOSITIONS. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL PLANTING BEDS SHALL RECEIVE MINIMUM 4" OF SHREDDED HARDWOOD BARK.
- ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- ALL PLANTINGS SHALL OCCUR BETWEEN MARCH AND MAY OR SEPTEMBER AND OCTOBER.
- PLEASE REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLANS FOR SEEDING SCHEDULE, SLOPE STABILIZATION AND PROPOSED SOIL EROSION AND SEDIMENT CONTROL SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE INSTALLED PER THE LAWRENCE TOWNSHIP LANDSCAPE NOTES AND REQUIREMENTS OF SECTION 525 OF THE LAWRENCE TOWNSHIP LAND USE DEVELOPMENT.

LAWRENCE TOWNSHIP LANDSCAPE NOTES:

§ 525 Landscaping.

- A. **General Provisions.** The following general provisions shall apply to the installation and design of landscapes:
- All land areas not covered with buildings, parking, or other impervious surfaces shall be landscaped with suitable materials. Landscaping shall consist of trees, shrubs, ground cover, perennials, and annuals singly or in common as well as other inanimate materials such as rocks, water, sculpture, art, walls, fences, and paving materials.
 - A landscape design shall be provided as part of site plan and subdivision submissions in accordance with Article VIII. Every applicant for subdivision or site plan approval shall comply with the minimum standards as set forth in this section.
 - The Board of Jurisdiction may require additional landscaping to create an appropriate landscaping scheme for the site given the nature of the site and the proposed development.
 - Where subdivisions only are applied for, the minimum standards shall apply only to street trees and to common open space and areas proposed to be dedicated to the public.
 - All landscape plants shall be typical in size and weight for their species and shall conform to the standards of the American Association of Nurserymen for quality and installation.
 - Plants with pervasive root systems shall not be located where they may cause damage to drainage pipes or other underground utilities and storm water management facilities and should generally be no closer than 10 feet measured horizontally.
 - All plants shall be tolerant of specific site conditions. The use of indigenous species is strongly encouraged. Exotic, non-native invasive plant species shall not be permitted.
 - Visual screening is required to buffer all trash enclosures, above ground propane tanks and other similar structures as identified by the Zoning Officer. [Ord.1585-99, 9/7/1999]
- B. **Landscape Design Guidelines.**
- Landscaping shall be conceived holistically and be designed to achieve a thorough integration of the various elements of site design, including building and parking placement, the natural features of the site and the preservation of pleasing or aesthetic views. Landscaping shall be used to accent and complement the form and type of building proposed.
 - In the landscape design of sites, areas shall be designated for retaining existing trees and the replacement of trees cleared from the site in accordance with §541.
 - Landscaping shall be located to provide effective climatic control. The east and west walls of a building should be the most heavily vegetated to shade for summer sun and the north to northwest area for winter prevailing winds. The southerly facing side of a building should be shaded from summer sun but open for solar gain during the winter.
 - Plant's susceptibility to disease, their colors, textures, shapes, blossoms, and foliage characteristics shall be considered in the overall design of a landscape plan.
 - Local soil conditions and water availability shall be considered in the choice of landscaping.
 - In the design process, the eventual maturity of the plant shall be considered for its effect on circulation patterns, solar access, site lighting, drainage, emergency access and relationship to buildings and the streetscape.

LEGEND



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LAWRENCE TOWNSHIP TAX MAP INFORMATION

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RECORD DEED INFORMATION

BLOCK-103, LOTS 66, 67 & 68	
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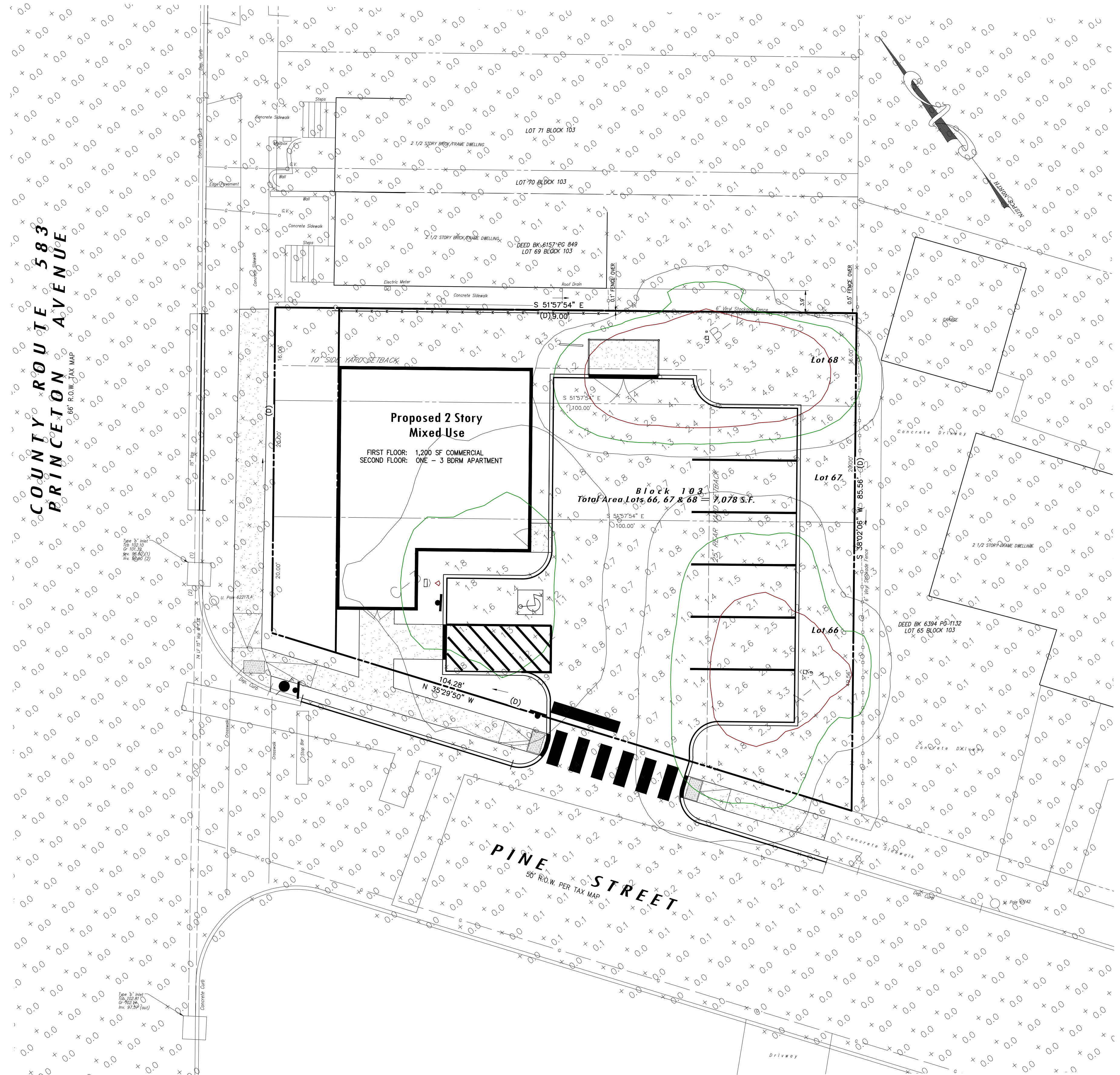
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BY: DATE: 2/10/22
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Van Cleef
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LANDSCAPING PLAN
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY



LEGEND

EXISTING	PROPOSED
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Flared End Section	Flared End Section
Drainage Inlet	Drainage Inlet
Drainage Manhole	Drainage Manhole
Headwall	Headwall
Sanitary Sewer Manhole	Sanitary Sewer Manhole
Fire Hydrant	Fire Hydrant
Sign	Sign
Utility Pole	Utility Pole
Valve	Valve
Water Main	Water Main
Gas Main	Gas Main
Electric Line	Electric Line
Telephone Line	Telephone Line
Grade Elevation	Grade Elevation
Contour Elevation	Contour Elevation
To Be Removed	To Be Removed
Bollard	Bollard

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Adjacent Properties	+	0.0	14.0	0.3	0.0	N/A
Entrance Slope	+	0.5	14.0	0.3	0.0	2.3:1
Parking Manhole	+	1.3	14.0	0.3	0.0	2.3:1
Parking Main Lot	+	1.5	14.0	0.3	0.0	10.6:1
Pine Street	+	0.0	14.0	0.3	0.0	N/A
Princeton Avenue	+	0.0	14.0	0.3	0.0	N/A
Setback	+	1.3	14.0	0.3	0.0	N/A
Sidewalk	+	0.1	14.0	0.3	0.0	N/A

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distrib. Pattern
A	A		1	American Electric Lighting	ATBMC P104 R4 3K SINGLE 10 FT POLE HEIGHT	Autobahn Micro P104 Package Roadway Type IV 3000K		1	ATBMC_P104_R4_3K.ies	4278	1	0.85	37	100%	TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G1
B	B		1	American Electric Lighting	ATBMC P104 R3 3K SINGLE 10 FT POLE HEIGHT	Autobahn Micro P104 Package Roadway Type III 3000K		1	ATBMC_P104_R3_3K.ies	4493	1	0.85	37	100%	TYPE III, SHORT, BUG RATING: B1 - U0 - G1
C	C		1	Halophane	HLWPC2 P10 30K XX 1FTM WALL MOUNT SINGLE 13 FT WALL MOUNT HEIGHT	Wallpack Full Cutoff LED, LED Performance Package P10, 3000 series CCT, Voltage, Forward Throw Medium		1	HLWPC2_P10_30K_XX_OK_XX_1FTM.ies	2979	1	0.85	25	100%	TYPE IV, SHORT, BUG RATING: B1 - U0 - G1

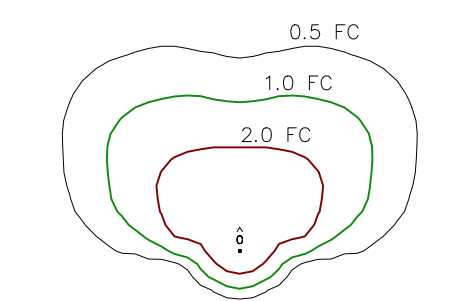
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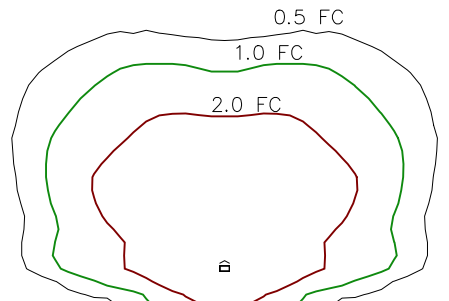
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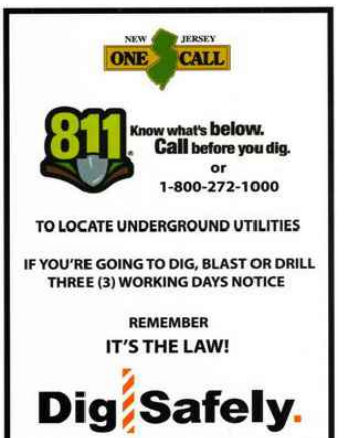
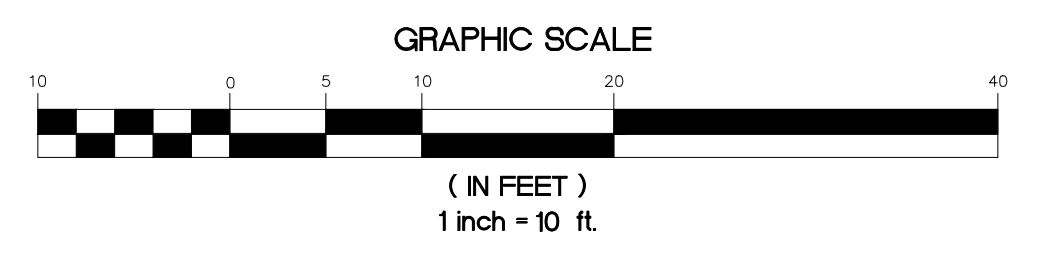


- A AND B**
- AEL AMERICAN ELECTRIC
 - AUTOBAHN MICRO
 - 3000K CCT
 - TYPE IV OPTICS
 - 0 UPLIGHT
 - REAR SHIELD
 - SINGLE
 - 10 FOOT WALL MOUNT



- C**
- HALOPHANE LIGHTING
 - WALLPACK FFD WALL MOUNT
 - 3000K CCT
 - FORWARD THROW FLAT OPTICS
 - 0 UPLIGHT
 - SINGLE
 - 10 FOOT WALL MOUNT

LIGHTING PLAN
 SCALE: 1"=10'

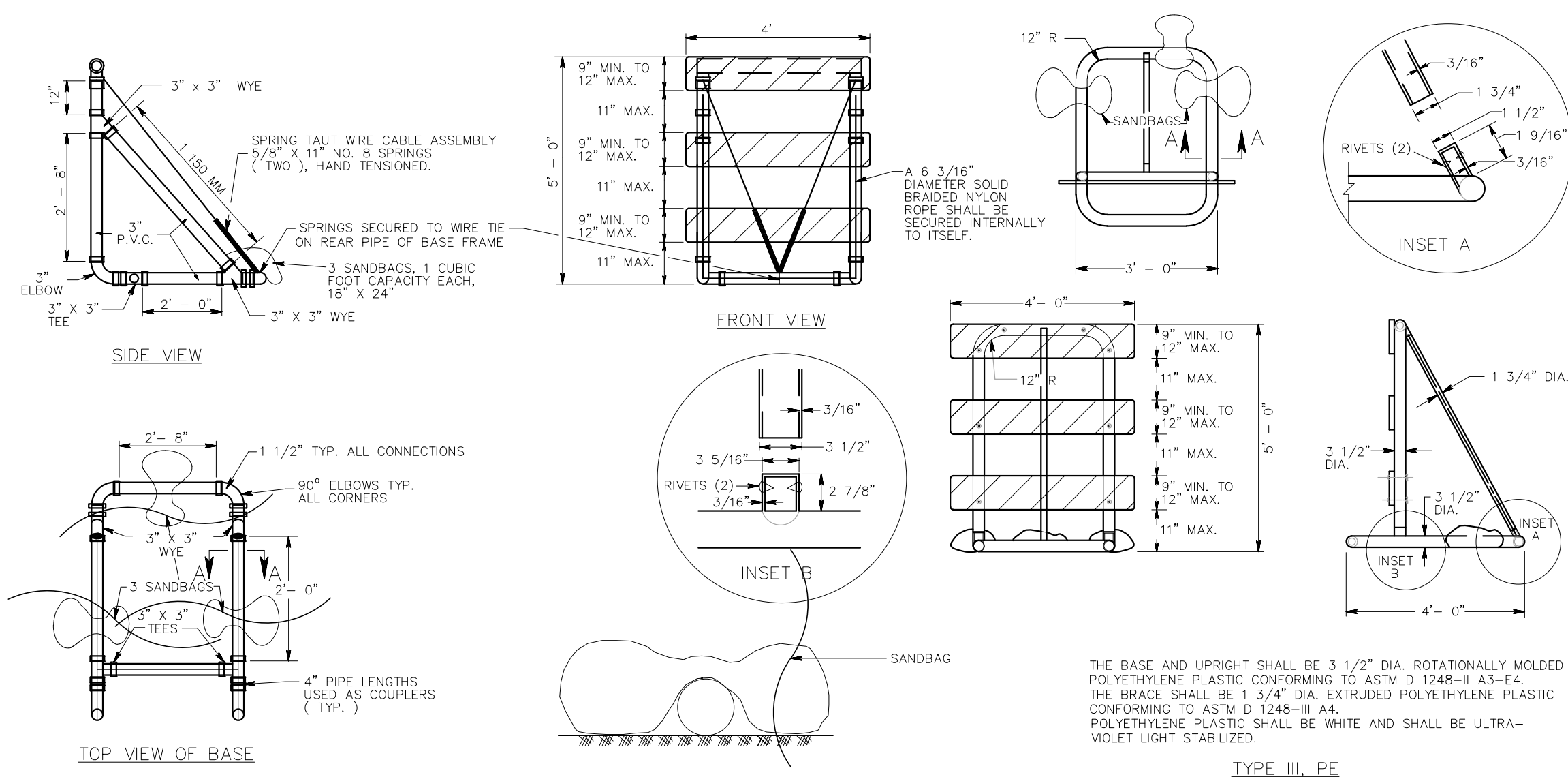


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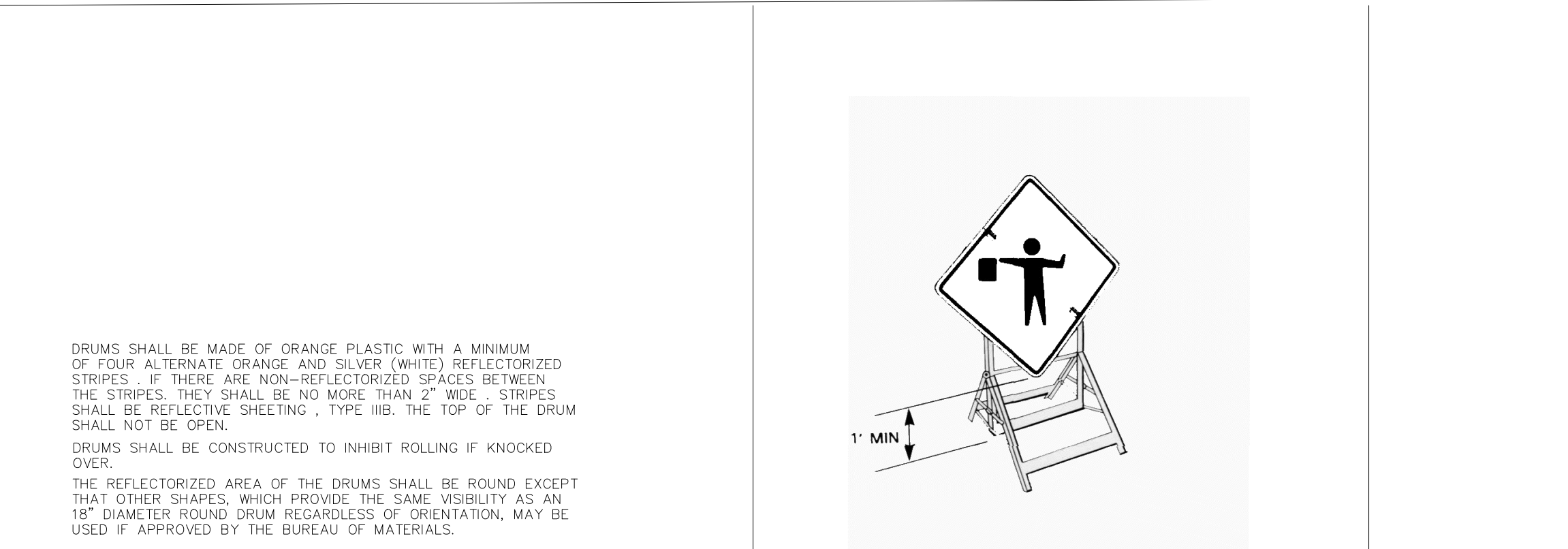
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LIGHTING PLAN
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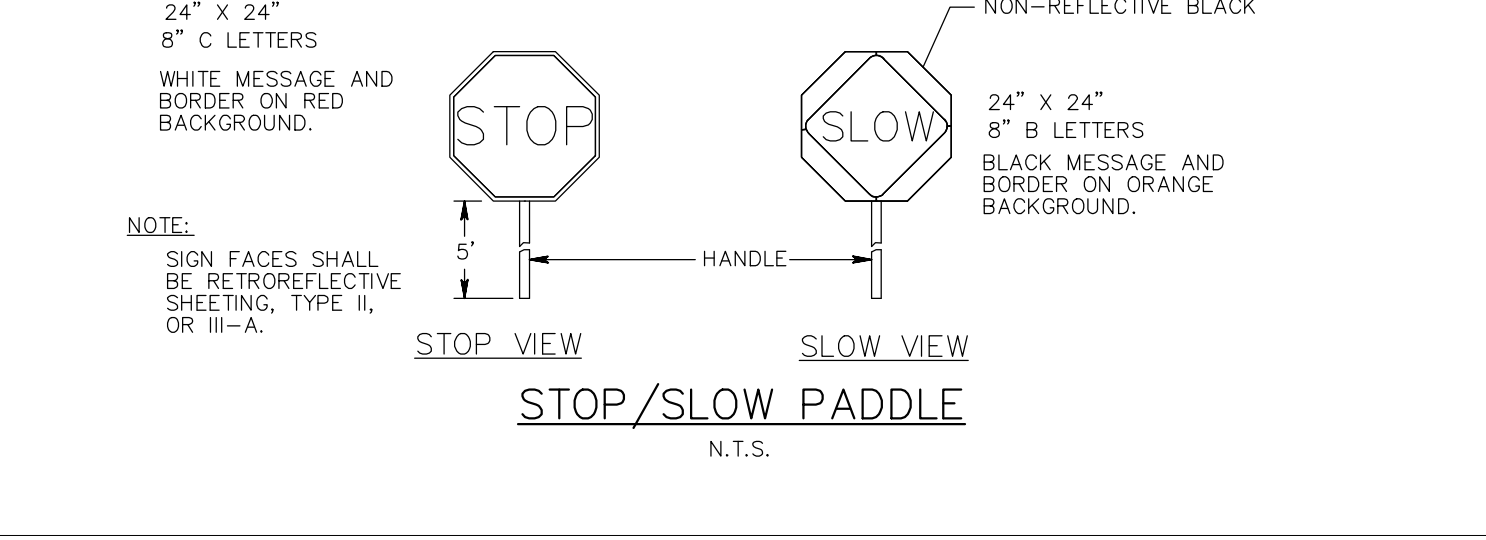
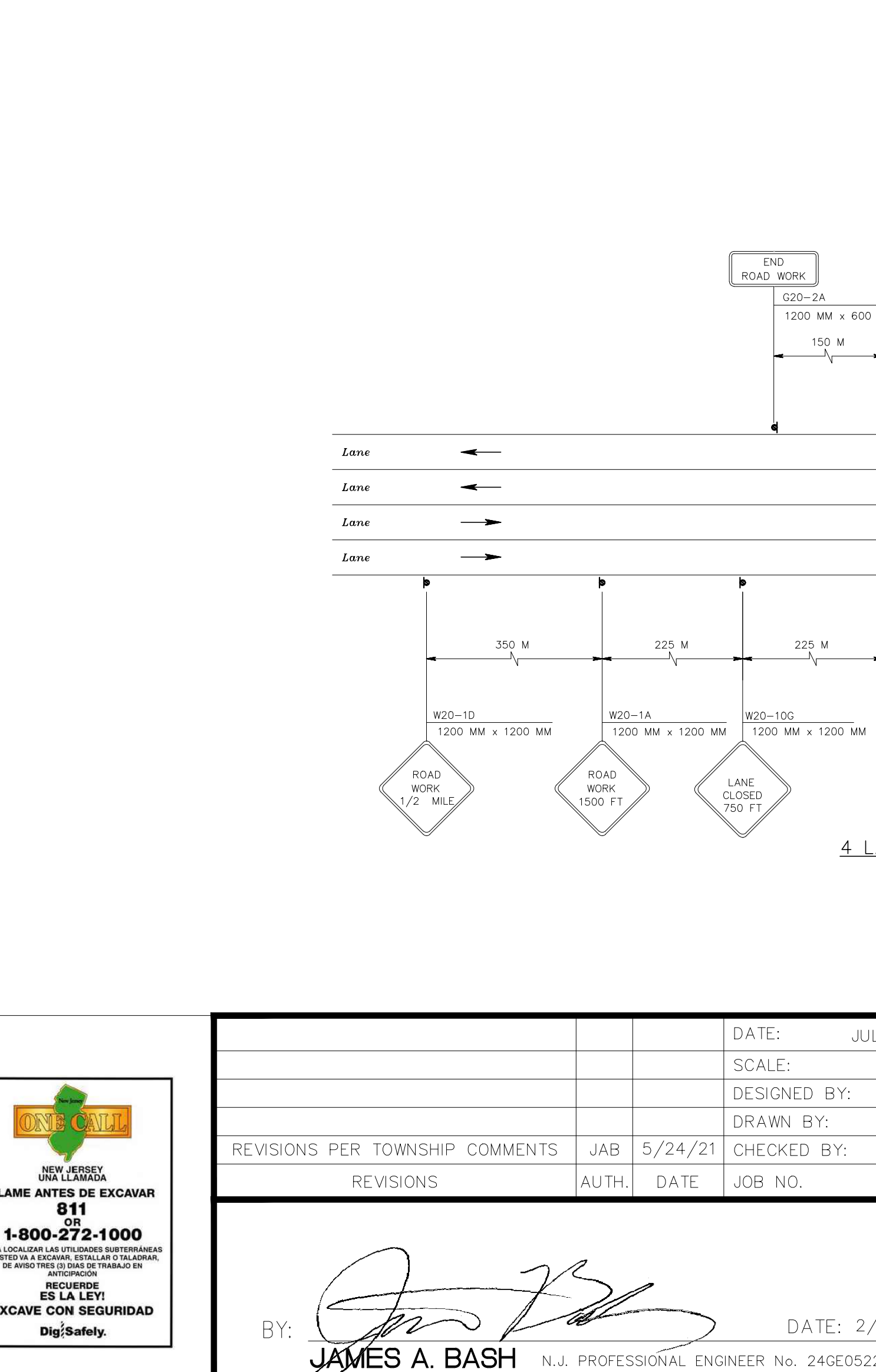
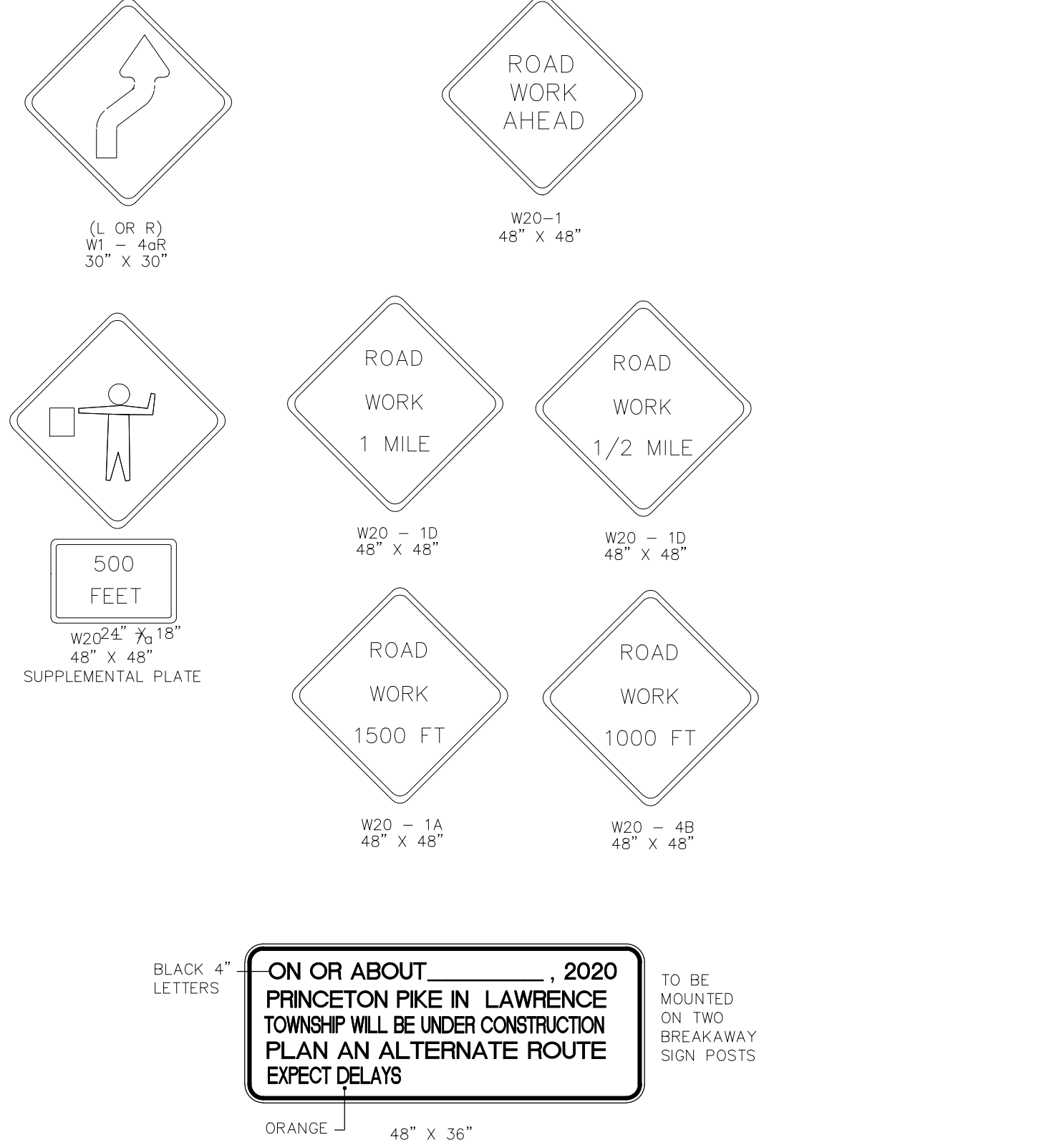
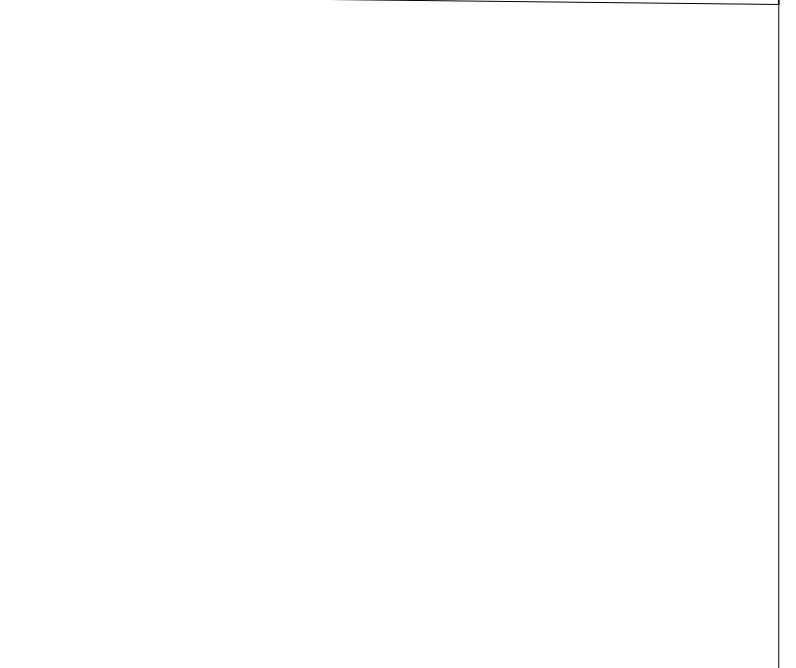
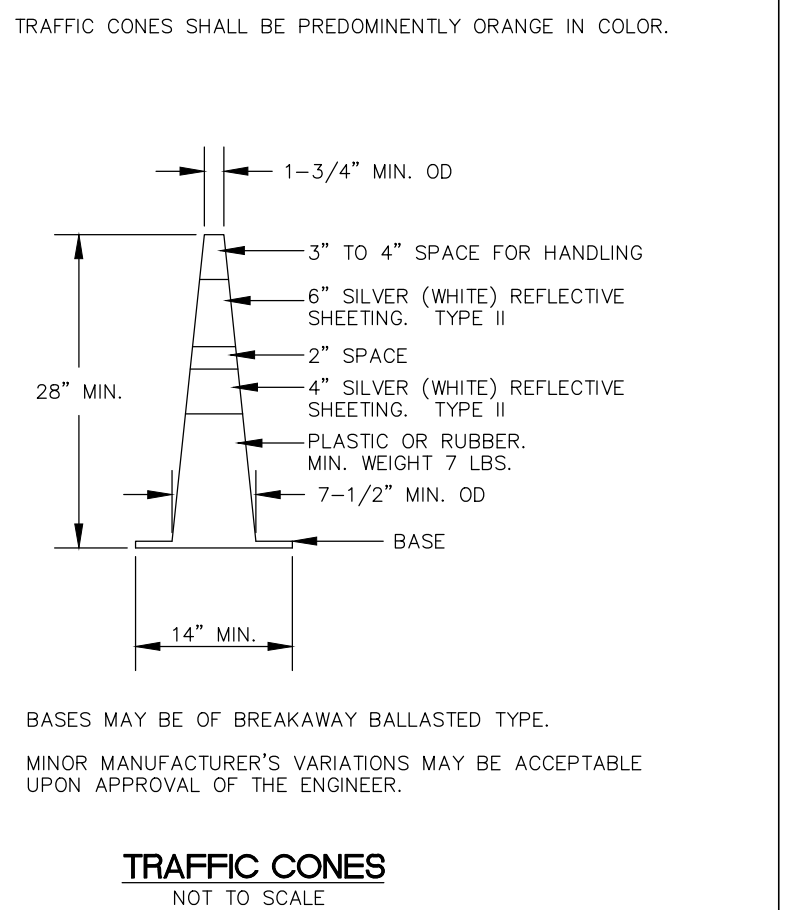
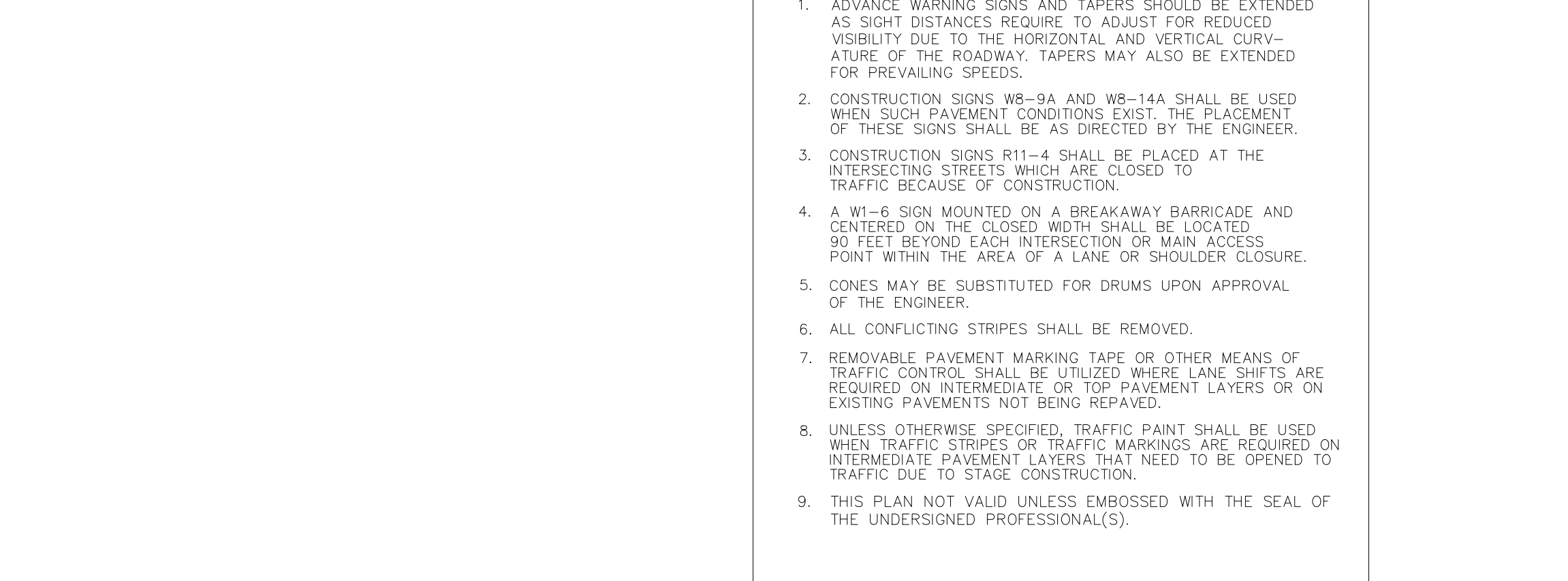
NOTES:

- THE 8" x 48", OR 9" MAX. x 48" BARRICADE RAILS SHALL BE FABRICATED FROM 0.024" ANODIZED ALUMINUM OR 0.125" MAX. PLASTIC SHEETING AND SHALL BE ATTACHED, 4 PER RAIL, WITH 1" NO.14 PAN HEAD METAL SCREWS OR PLASTIC RIVETS. ALL CORNERS SHALL BE ROUNDED.
- ORANGE AND SILVER (WHITE) STRIPES SHALL BE RETROREFLECTIVE SHEETING, TYPE II OR III-A, AS SHOWN FOR CONSTRUCTION SIGNS. ALTERNATE RANGE AND SILVER (WHITE) STRIPES 6" WIDE SLOPING DOWNWARD AT AN ANGLE OF 45 DEGREES IN THE DIRECTION TRAFFIC IS TO PASS.
- THE 18" x 24" SANDBAGS SHALL BE FABRICATED FROM POLYPROPYLENE AND SHALL HAVE A CAPACITY OF 1 CUBIC FOOT. PLACEMENT OF SANDBAGS SHALL BE AS SHOWN ABOVE.
- SANDBAG PLACEMENT MAY BE ADJUSTED AT THE DIRECTION OF THE ENGINEER. ALL DIMENSIONS ON FULL PIPE LENGTH.
- EITHER TYPE III, PE OR TYPE III, PVC CAN BE USED AT THE OPTION OF THE CONTRACTOR.

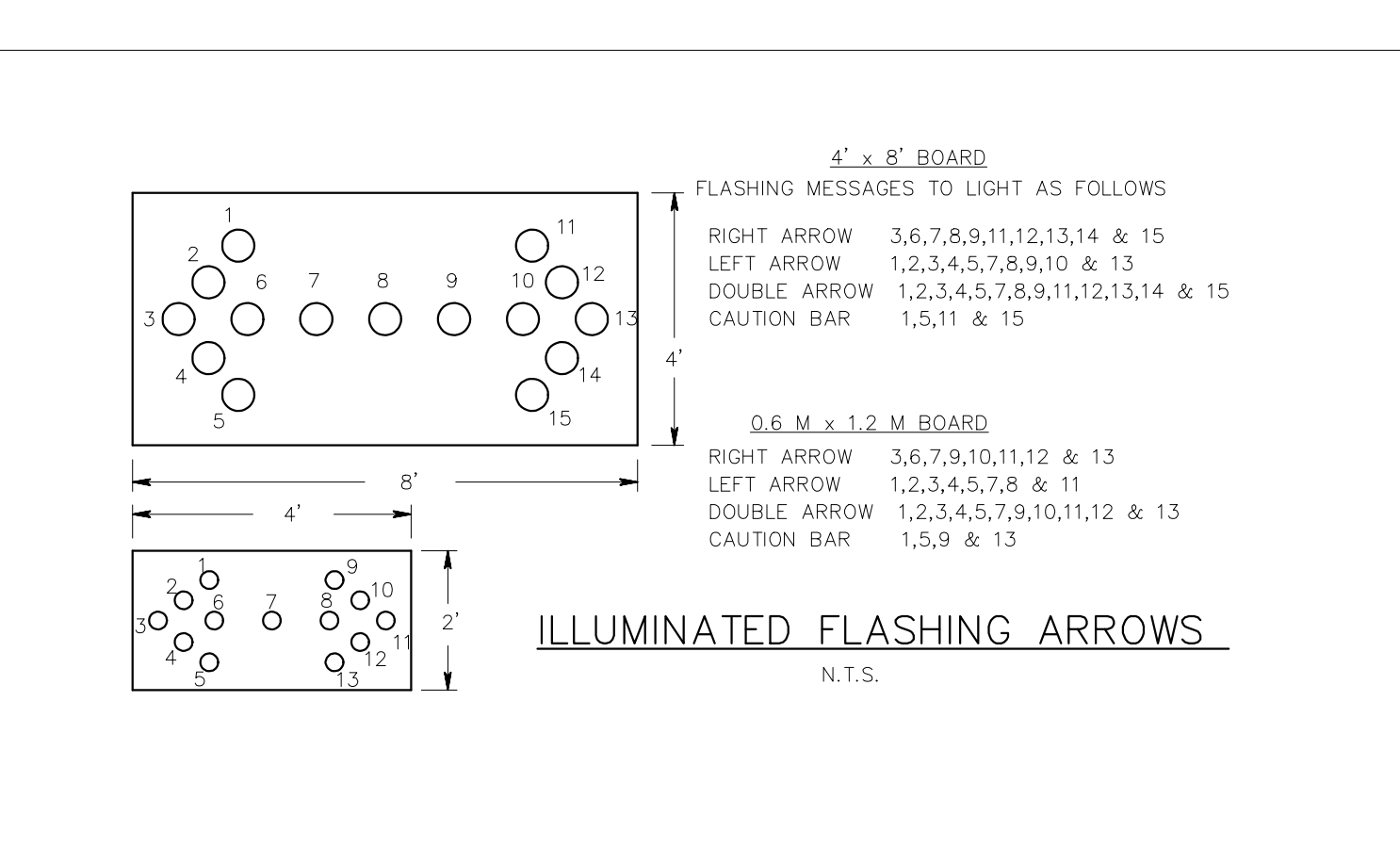


GENERAL NOTES:

- ADVANCE WARNING SIGNS AND TAPERS SHOULD BE EXTENDED AS SIGHT DISTANCES REQUIRE TO ADJUST FOR REDUCED VISIBILITY DUE TO THE HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY. TAPERS MAY ALSO BE EXTENDED FOR PREVAILING SPEEDS.
- CONSTRUCTION SIGNS WB-9A AND WB-14A SHALL BE USED WHEN SUCH PAVEMENT CONDITIONS EXIST. THE PLACEMENT OF THESE SIGNS SHALL BE AS DIRECTED BY THE ENGINEER.
- CONSTRUCTION SIGNS R11-4 SHALL BE PLACED AT THE INTERSECTING STREETS WHICH ARE CLOSED TO TRAFFIC BECAUSE OF CONSTRUCTION.
- A W1-6 SIGN MOUNTED ON A BREAKAWAY BARRICADE AND CENTERED ON THE CLOSED WIDTH SHALL BE LOCATED 90 FEET BEYOND EACH INTERSECTION OR MAIN ACCESS POINT WITHIN THE AREA OF A LANE OR SHOULDER CLOSURE.
- CONES MAY BE SUBSTITUTED FOR DRUMS UPON APPROVAL OF THE ENGINEER.
- ALL CONFLICTING STRIPES SHALL BE REMOVED.
- REMOVABLE PAVEMENT MARKING TAPE OR OTHER MEANS OF TRAFFIC CONTROL SHALL BE UTILIZED WHERE LANE SHIFTS ARE REQUIRED ON INTERMEDIATE OR TOP PAVEMENT LAYERS OR ON EXISTING PAVEMENTS NOT BEING REPAVED.
- UNLESS OTHERWISE SPECIFIED, TRAFFIC PAINT SHALL BE USED WHEN TRAFFIC STRIPES OR TRAFFIC MARKINGS ARE REQUIRED ON INTERMEDIATE PAVEMENT LAYERS THAT NEED TO BE OPENED TO TRAFFIC DUE TO STAGE CONSTRUCTION.
- THIS PLAN NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).



REGULATORY APPROACH SPEED OF TRAFFIC IN KM/HOUR (MILES/HOUR)	RECOMMENDED TAPER LENGTH AND SPACING FOR CHANNELIZING TAPERS				RECOMMENDED SPACING ALONG TANGENTS	
	TAPER RATIO IN LENGTH PER FOOT OF WIDTH	MINIMUM TAPER LENGTH L-FOR LANE WIDTHS		MAXIMUM SPACING ALONG TAPERS IN FEET	MAXIMUM DEVICE (D) SPACING ALONG TANGENTS IN FEET	
25	10.5:1	105	115	25	50	
30	15.0:1	150	165	30	60	
35	20.5:1	205	225	35	70	
40	27.0:1	270	295	40	80	
45	45:1	450	495	45	90	
50	50:1	500	550	50	100	
55	55:1	550	605	55	110	



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TRAFFIC CONTROL PLAN

PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. No. 2460A28132300

8/11

811 **ONE CALL**

Call before you dig
1-800-272-1000

TO LOCATE UNDERGROUND UTILITIES

IF YOU'RE GOING TO DIG, BLAST OR DRILL, THREE (3) WORKING DAYS NOTICE

REMEMBER IT'S THE LAW!

Dig Safely.

ONE CALL

NEW JERSEY UNLA LAZADA

LLAME ANTES DE EXCAVAR

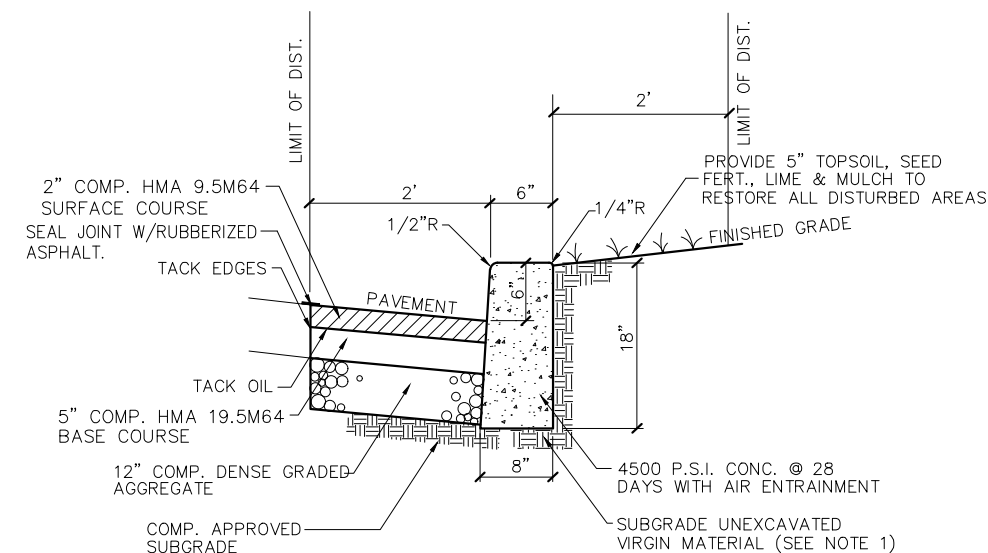
811

1-800-272-1000

PAR LOCALIZAR LAS UTILIDADES SUBTERRANEAS SI USTED VA A EXCAVAR, ESTALLAR O TALADRAR, DE AVISARLE 3 DIAS DE TRABAJOS ANTES DE EMPEZAR.

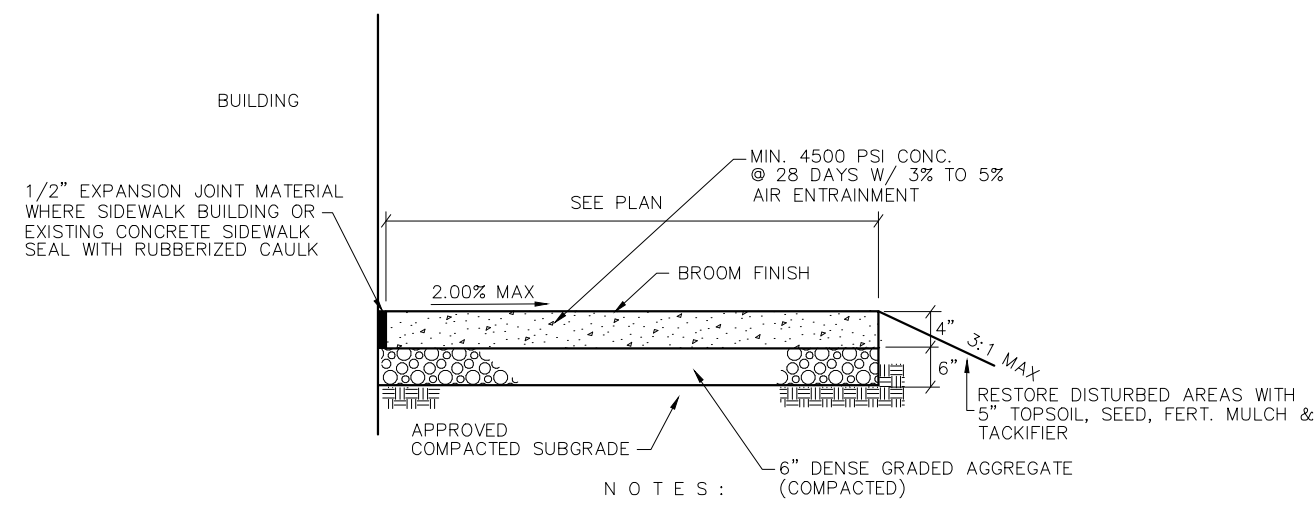
RECUERDE ES LA LEY EXCAVE CON SEGURIDAD

Dig Safely.



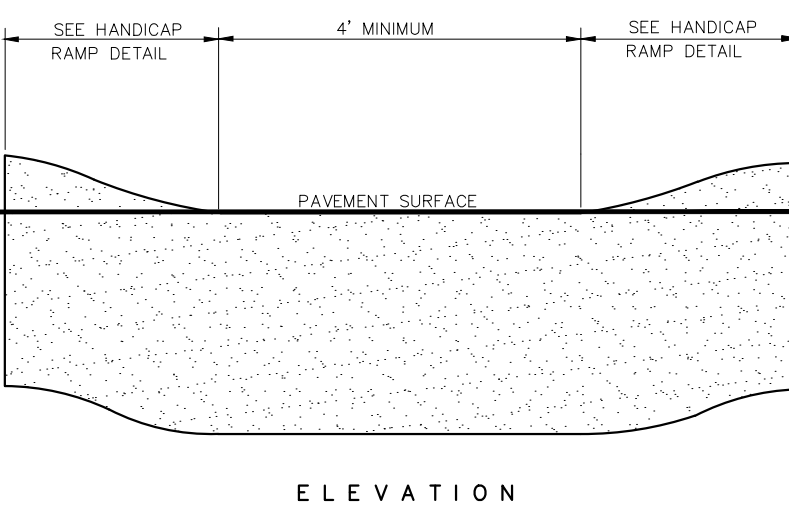
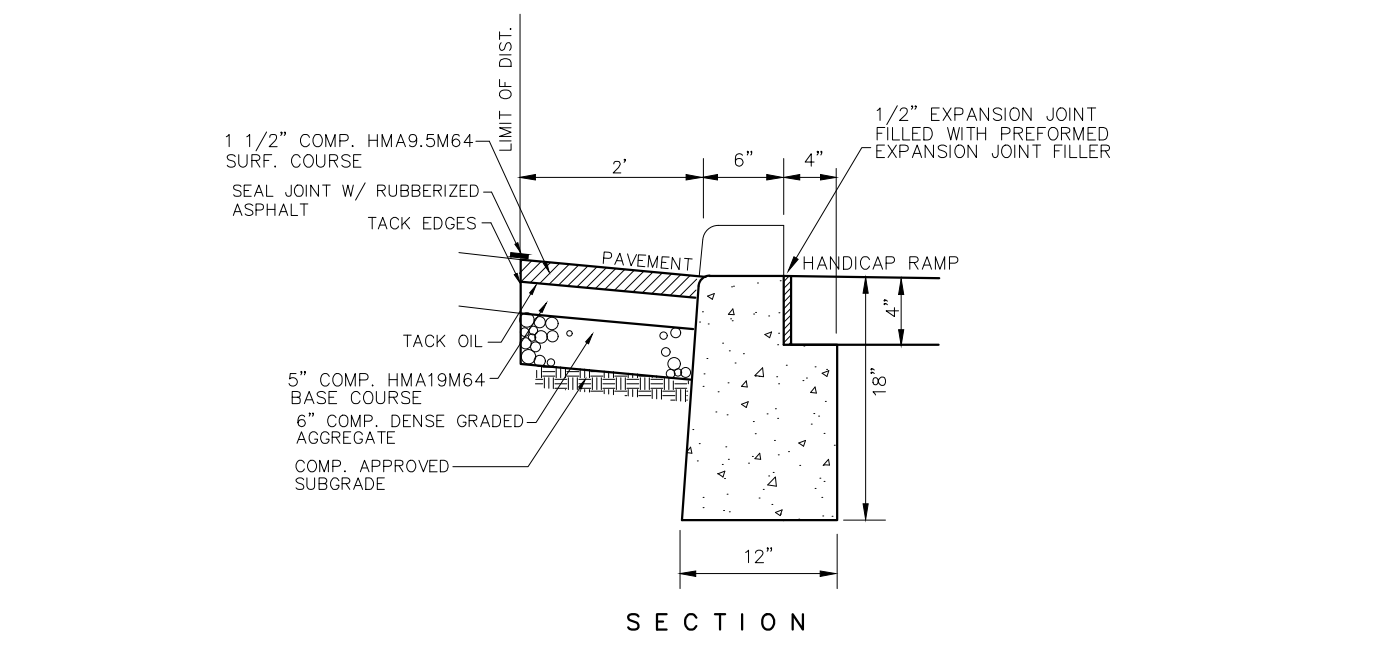
- NOTES:**
- 1) ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWNSHIP ENGINEERING PRIOR TO POURING.
 - 2) EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20' AND AT ALL STORM SEWER INLETS. JOINTS SHALL BE FILLED WITH PREMOULDED EXPANSION JOINT FILLER, 1/2" THICK, CONFORMING TO NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONTRACTION JOINTS SHALL BE PROVIDED EVERY 10'. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND FRONT OF THE CONCRETE CURB.
 - 3) CURB SHALL BE TEMPORARILY BACKFILLED TO FINISHED GRADE WITH SOIL BEHIND AND STONE ON THE ROAD SIDE AS SOON AS IT HAS ATTAINED SUFFICIENT SUPPORTING STRENGTH OR WITHIN 24 HOURS OF POURING (WHICH EVER IS LESS).
 - 4) WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT 2 FEET IN FRONT OF THE NEW CURB FACE IN A STRAIGHT LINE WITH A CUTTING WHEEL OR PNEUMATIC HAMMER. THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO THE EXISTING PAVEMENT. THE COST OF THIS PAVING IS TO BE INCLUDED IN THE UNIT PRICE BID FOR CONCRETE CURB REPLACEMENT.
 - 5) ALL EXPOSED CONC. SURFACES TO BE TREATED WITH LUMISEAL PLUS CURE AND SEAL COMPOUND OR EQUIVALENT PER MANUFACTURER'S INSTRUCTIONS.

6'X8'X16' CONCRETE CURB REPLACEMENT
NOT TO SCALE

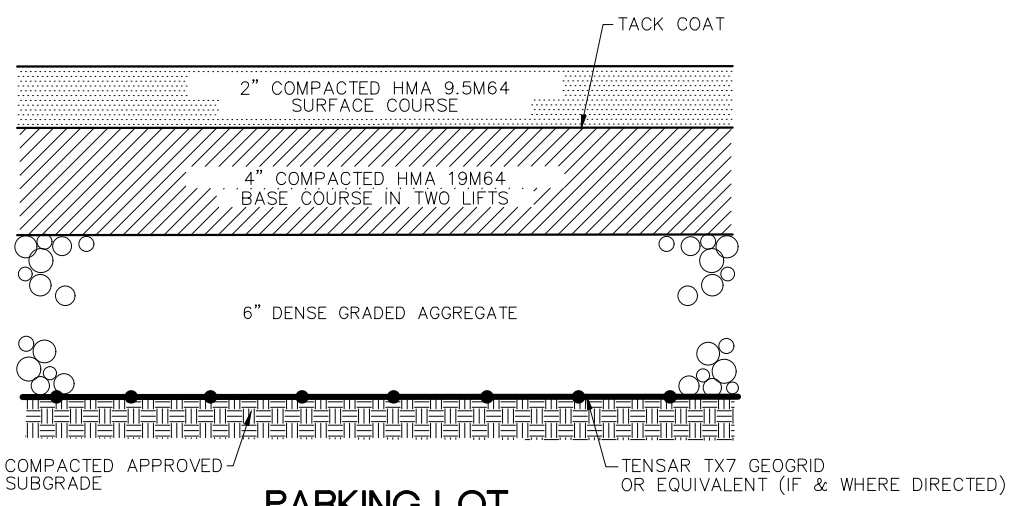


- NOTES:**
- 1) THE ENGINEER SHALL APPROVE ALL SUBGRADES PRIOR TO THE POURING OF ANY CONCRETE.
 - 2) EXPANSION JOINTS SHALL BE PROVIDED AT 20' (MAX.) INTERVALS. JOINTS SHALL BE FILLED WITH 1/2" BIT. EXPANSION JOINT FILLER.
 - 3) ALL SIDEWALK THAT IS BROKEN, CRACKED OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO ACCEPTANCE.
 - 4) PROVIDE HALF DEPTH CONTRACTION JOINTS EVERY 4 FEET.
 - 5) ALL EXPOSED CONC. SURFACES TO BE TREATED WITH LUMISEAL PLUS CURE AND SEAL COMPOUND OR EQUIVALENT PER MANUFACTURER'S INSTRUCTIONS.
 - 6) THE RUNNING SLOPE OF THE SIDEWALK SHALL BE LESS THAN 5.0%.

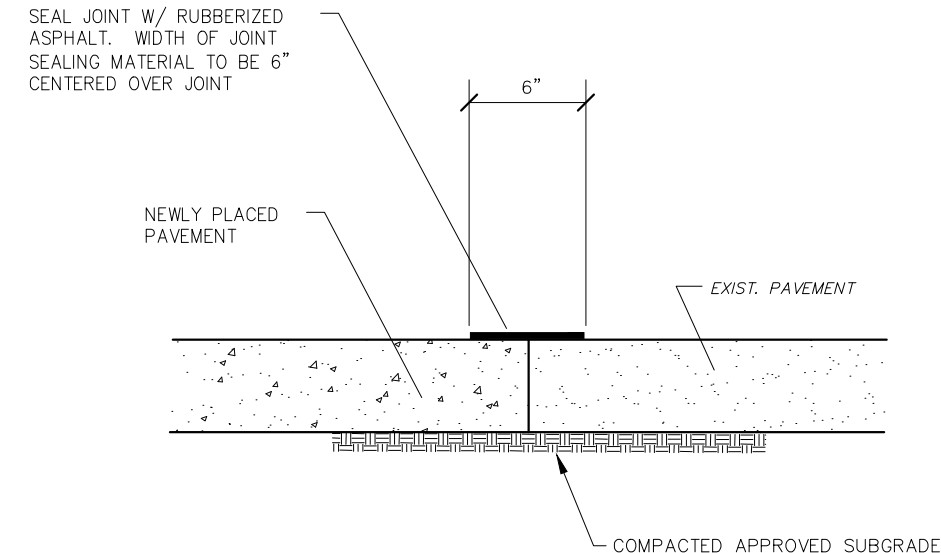
CONCRETE SIDEWALK ADJACENT TO BUILDING DETAIL
NO SCALE



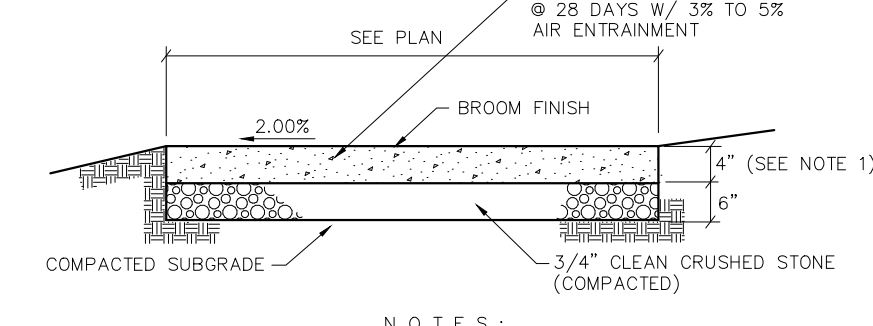
DEPRESSED CURB AT HANDICAP RAMP
NO SCALE



PARKING LOT PAVEMENT CROSS-SECTION
NOT TO SCALE

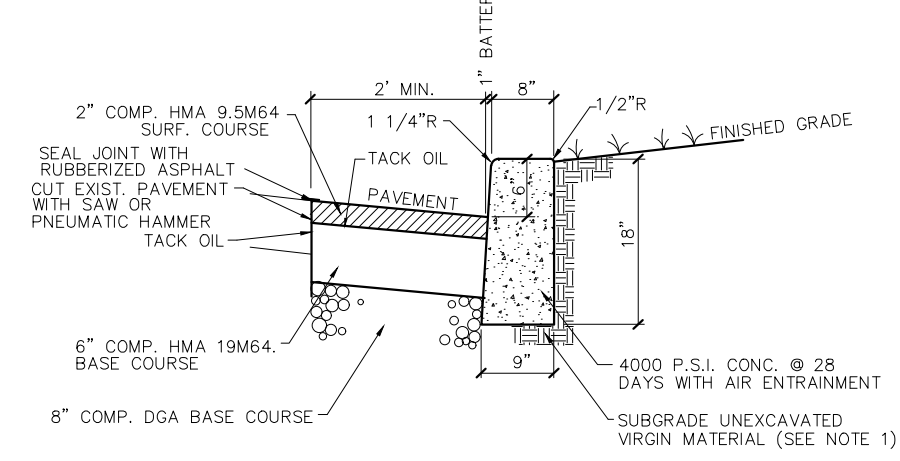


PAVEMENT JOINT SEALING
NOT TO SCALE



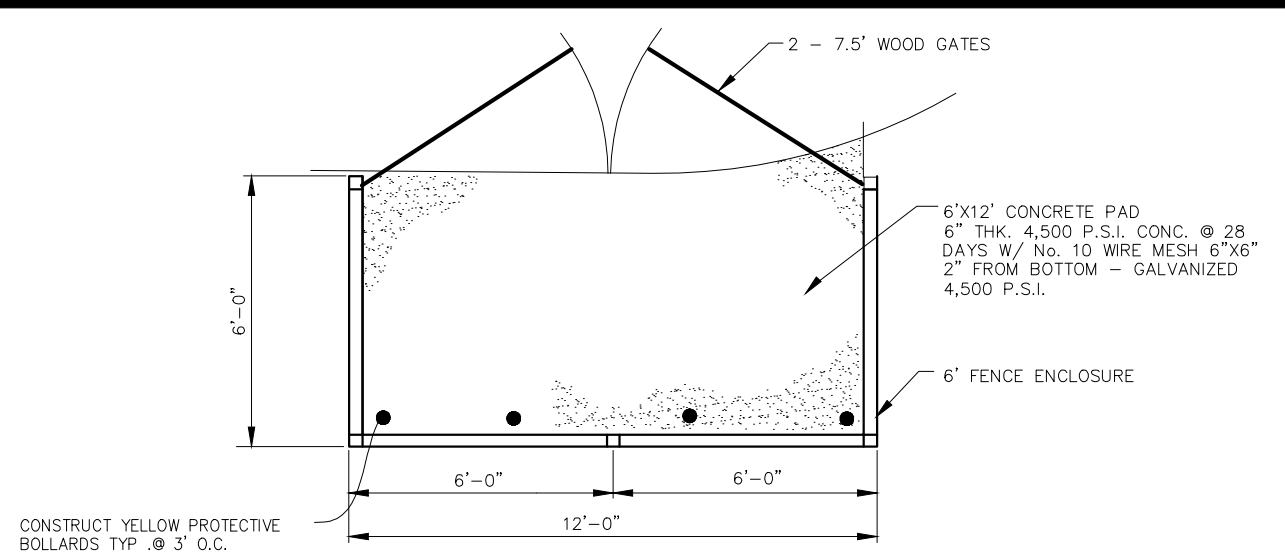
- NOTES:**
- 1.) AT DRIVEWAY CROSSINGS, SIDEWALK SHALL BE 6" THICK AND SHALL CONTAIN No. 10 6" X 6" WIRE MESH 2" UP FROM THE BOTTOM OF THE SIDEWALK.
 - 2.) THE TOWNSHIP ENGINEER SHALL APPROVE ALL SUBGRADES PRIOR TO THE POURING OF ANY CONCRETE.
 - 3.) EXPANSION JOINTS SHALL BE PROVIDED AT 20' (MAX.) INTERVALS. JOINTS SHALL BE FILLED WITH 1/2" BIT. EXPANSION JOINT FILLER.
 - 4.) ALL SIDEWALK THAT IS BROKEN, CRACKED OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO ACCEPTANCE.
 - 5.) PROVIDE HALF DEPTH CONTRACTION JOINTS EVERY 4 FEET.
 - 6.) ALL EXPOSED CONC. SURFACES TO BE TREATED WITH LUMISEAL PLUS CURE AND SEAL COMPOUND OR EQUIVALENT PER MANUFACTURER'S INSTRUCTIONS.

CONCRETE SIDEWALK
NO SCALE

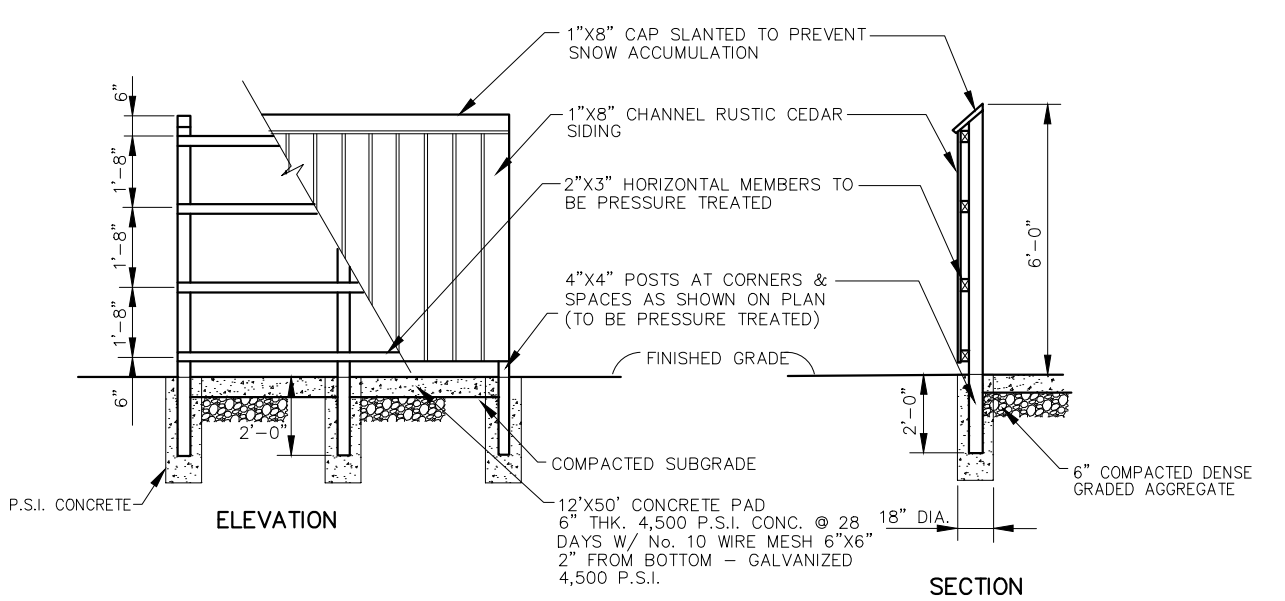


- NOTES:**
- 1.) ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4" CLEAN CRUSHED STONE.
 - 2.) EXPANSION JOINTS OF CELLULAR COMPRESSED MATERIAL TO BE PLACED AT 20' INTERVALS AND 1/4" PREMOULDED EXPANSION JOINTS TO BE PLACED LONGITUDINALLY ADJACENT TO ALL ADJUTING CONCRETE STRUCTURES AS THE ENGINEER MAY DIRECT. CONTRACTION JOINTS TO BE PROVIDED EVERY 20' ALTERNATING WITH EXPANSION JOINTS.
 - 3.) CURB SHALL BE TEMPORARILY BACKFILLED TO FINISHED GRADE WITH SOIL BEHIND AND STONE ON THE ROAD SIDE AS SOON AS IT HAS ATTAINED SUFFICIENT SUPPORTING STRENGTH OR WITHIN 24 HOURS OF POURING (WHICH EVER IS LESS).
 - 4.) WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT 2 FEET IN FRONT OF THE NEW CURB FACE IN A STRAIGHT LINE AT A 45 DEGREE ANGLE WITH A CUTTING WHEEL OR PNEUMATIC HAMMER. THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO THE EXISTING PAVEMENT, IN ACCORDANCE WITH PAVEMENT WIDENING DETAIL.
 - 5.) FACE FORMING MAY BE USED IF CONTRACTOR CAN DEMONSTRATE TO ENGINEER THAT UNDERMINING OF PAVEMENT WILL NOT OCCUR ANY FURTHER SUBJECT TO APPROVAL BY COUNTY ENGINEER OR COUNTY ROADS. HOWEVER, THE UNIT PRICE BID FOR CURB SHALL INCLUDE 2" MIN. PAVEMENT REPLACEMENT.

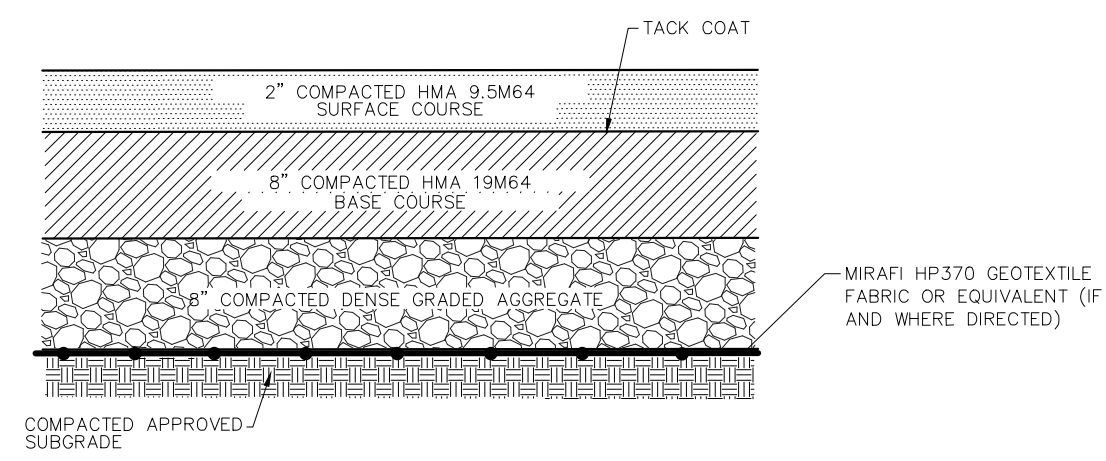
8'X9'X18' MERCER COUNTY CONCRETE CURB
NOT TO SCALE



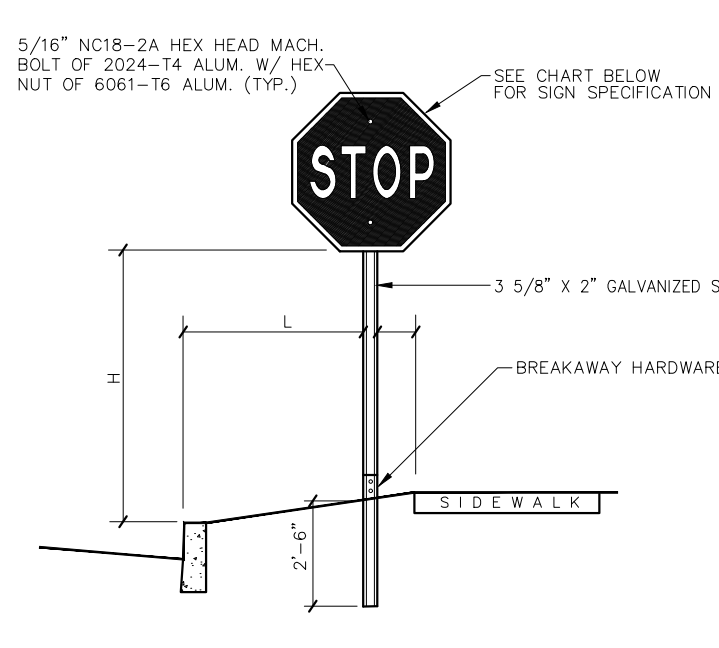
PLAN



DUMPSTER ENCLOSURE DETAIL
N.T.S.



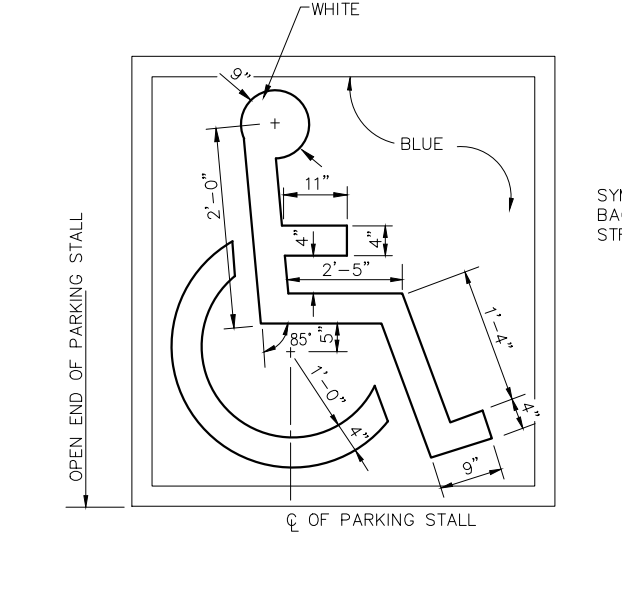
COUNTY PAVEMENT CROSS-SECTION
NOT TO SCALE



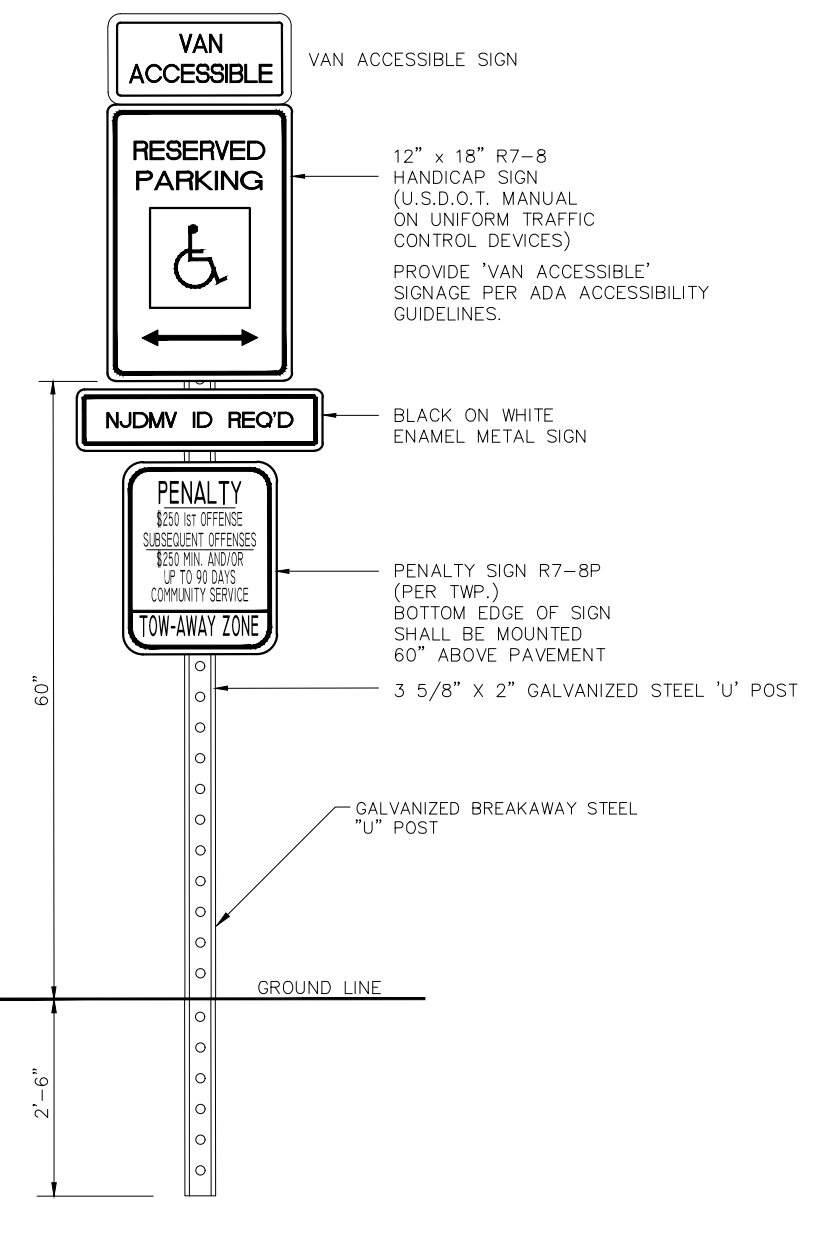
- NOTES:**
- 1.) ALL SIGN INSTALLATION SHALL CONFORM TO N.J.D.O.T. STD. SPECIFICATIONS.
 - 2.) A RESILIENT FIBER 5/16" I.D. WASHER SHALL BE PROVIDED BETWEEN THE BOLT AND THE SIGN FACE.
 - 3.) ALL SIGNS AND MARKING SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - 4.) SEE THE CHART BELOW FOR SPECIFICATIONS.

H	L	CONDITIONS	DESCRIPTION	M.U.T.C.D. SIGN DESIGNATION TO BE CARRIED BY APPLICANTS ENGINEER	SIZE
7	6	CURB, NO SIDEWALK	STOP	R1-1	30"x30"
7	2	CURB AND SIDEWALK	NO PARKING FIRE LANE, HANDICAP SIGN, VAN-ACCESSIBLE, PENALTY SIGN	R8-11, R7-8, R7-8V, R7-8P	18"x24"

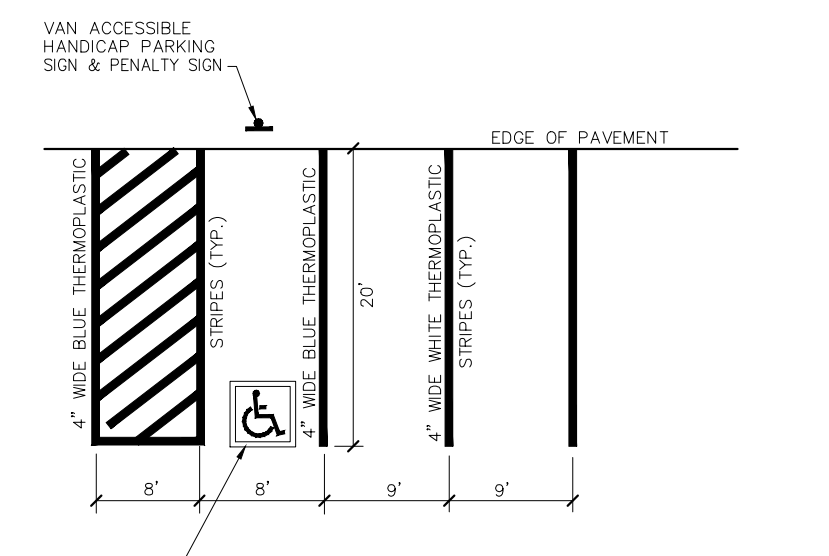
WARNING AND/ OR REGULATORY SIGN DETAIL
N.T.S.



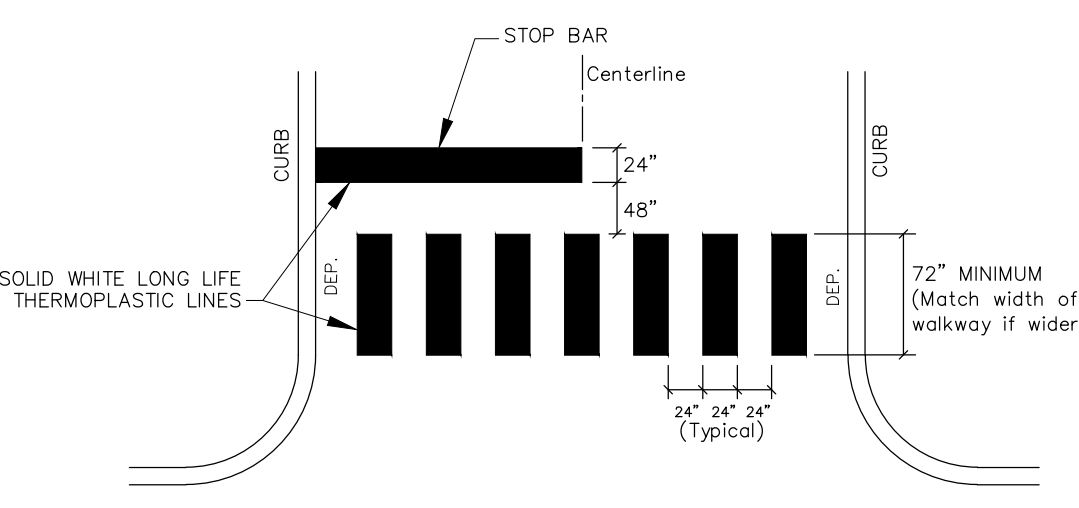
HANDICAPPED PARKING SYMBOL
NOT TO SCALE



HANDICAPPED PARKING SIGN
NOT TO SCALE



ADA UNIVERSAL PARKING SPACE DESIGN DETAIL
NOT TO SCALE



CROSSWALK STRIPING DETAIL
N.T.S.

811
Call before you dig.
1-800-272-1000
TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL
THREE (3) WORKING DAYS NOTICE
REMEMBER
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Dig Safely.

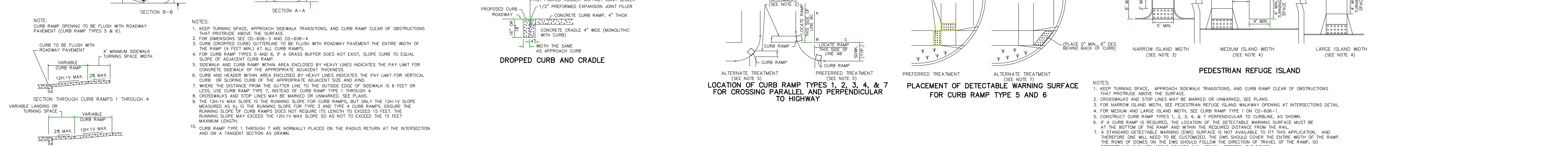
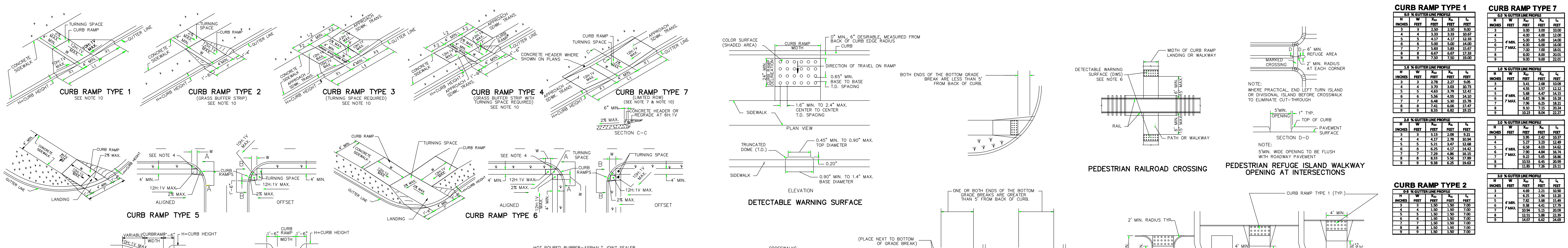
CONEXPO
LLAME ANTES DE EXCAVAR
811
1-800-272-1000
PARA LOCALIZAR LAS UTILIDADES SUBTERRANIAS
ANTES DE EXCAVAR, ESTALLAR O PLAZAR, REQUERIR
DE AVISO TRES (3) DIAS DE TRABAJO EN
RECOMENDACION
ES LA LEY!
EXCAVE CON SEGURIDAD
Dig Safely.

REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21	CHECKED BY:	J.A.B.
REVISIONS	AUTH. DATE	JOB NO.	1804LA

DATE: JULY 1, 2020
SCALE: N.T.S.
DESIGNED BY: J.A.B.
DRAWN BY: R.R.F.
CHECKED BY: J.A.B.
BY: **JAMES A. BASH** N.J. PROFESSIONAL ENGINEER No. 24GE05225800
DATE: 2/10/22

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Professional Planning
Landscape Architecture
NJ LLC CERT. NO. 24G028132300

CONSTRUCTION DETAILS
PREPARED FOR
BLOCK 103, LOTS 66, 67 & 68
1652 PRINCETON AVENUE
SITUATE IN
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY



CURB RAMP TYPE 1

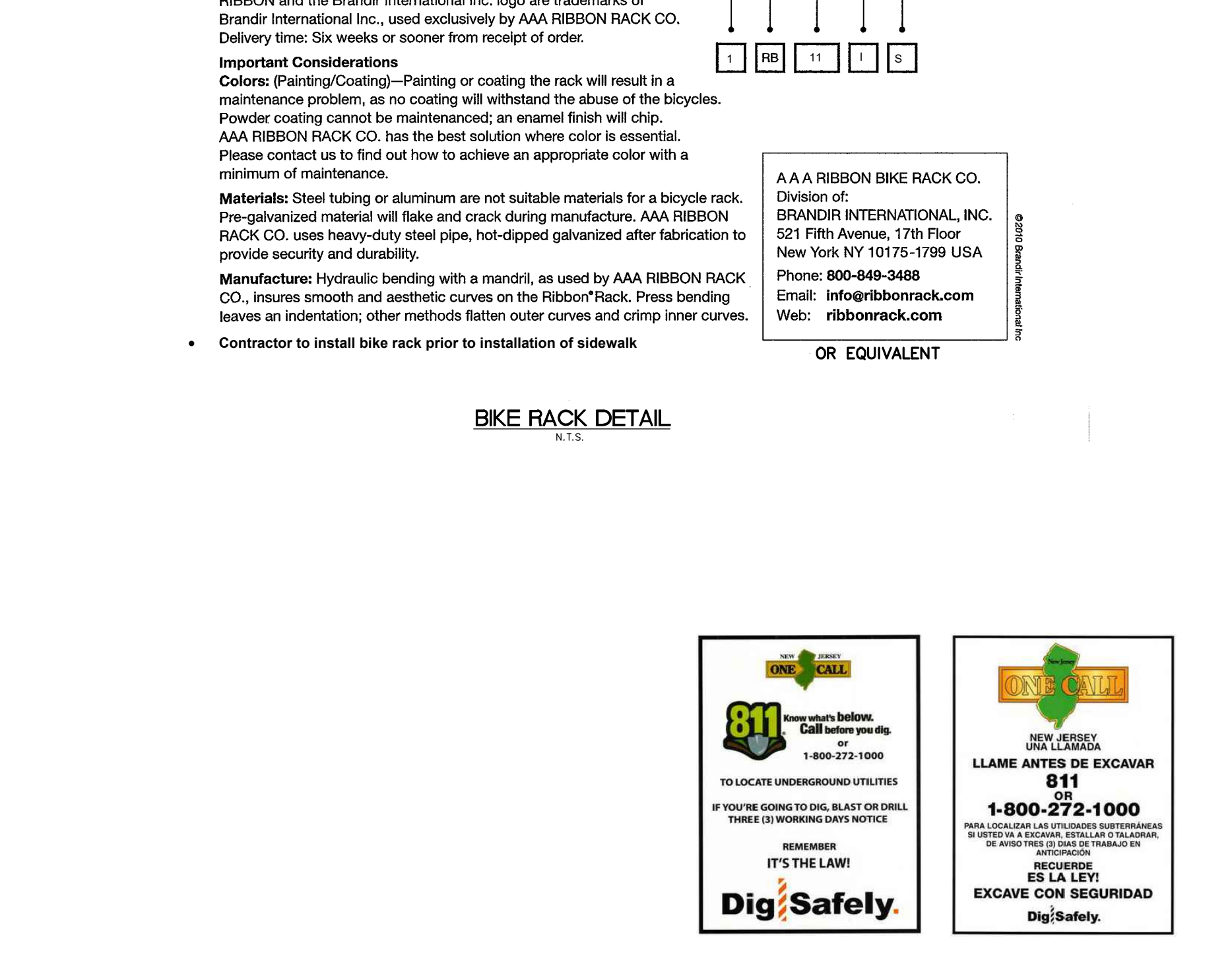
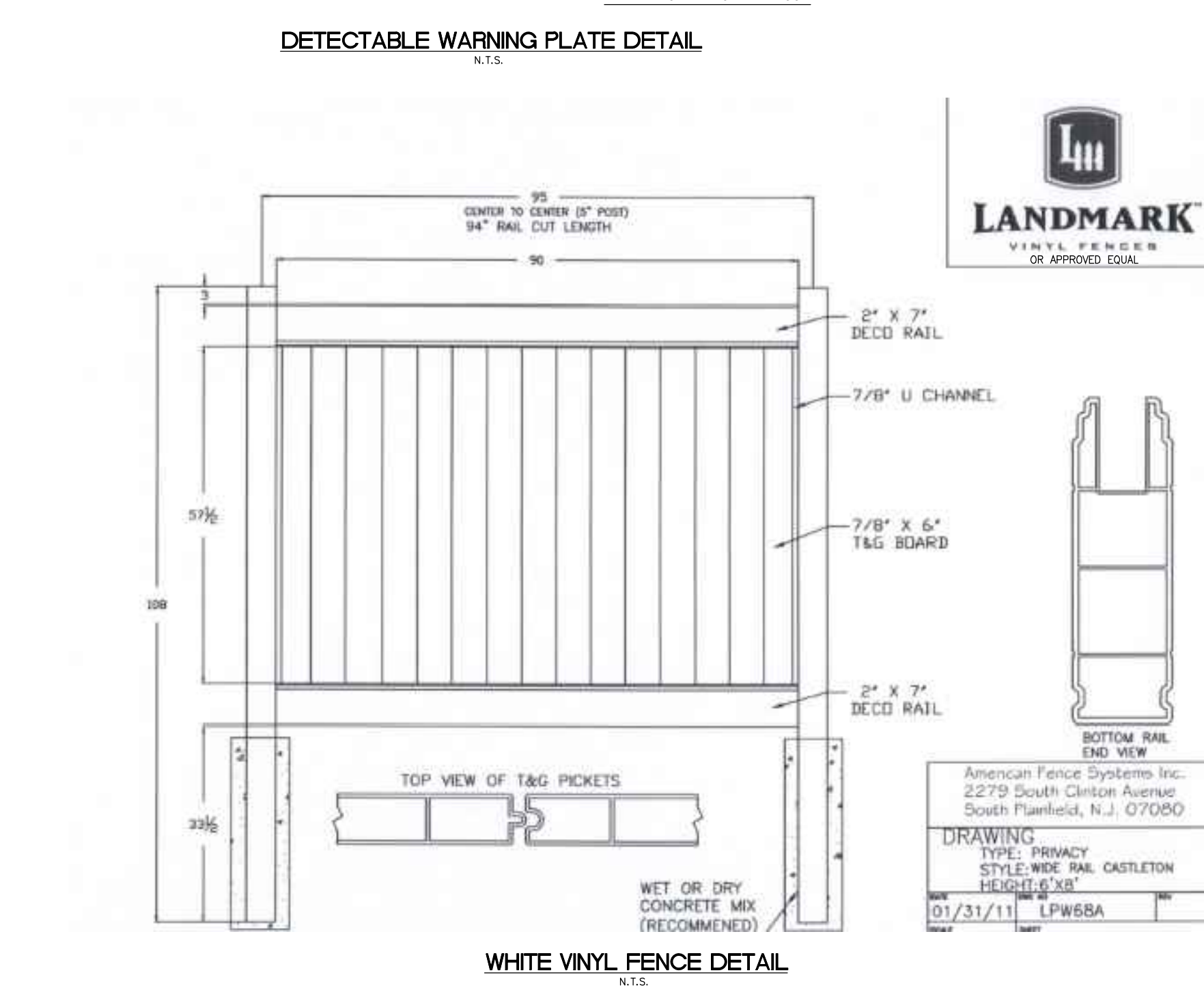
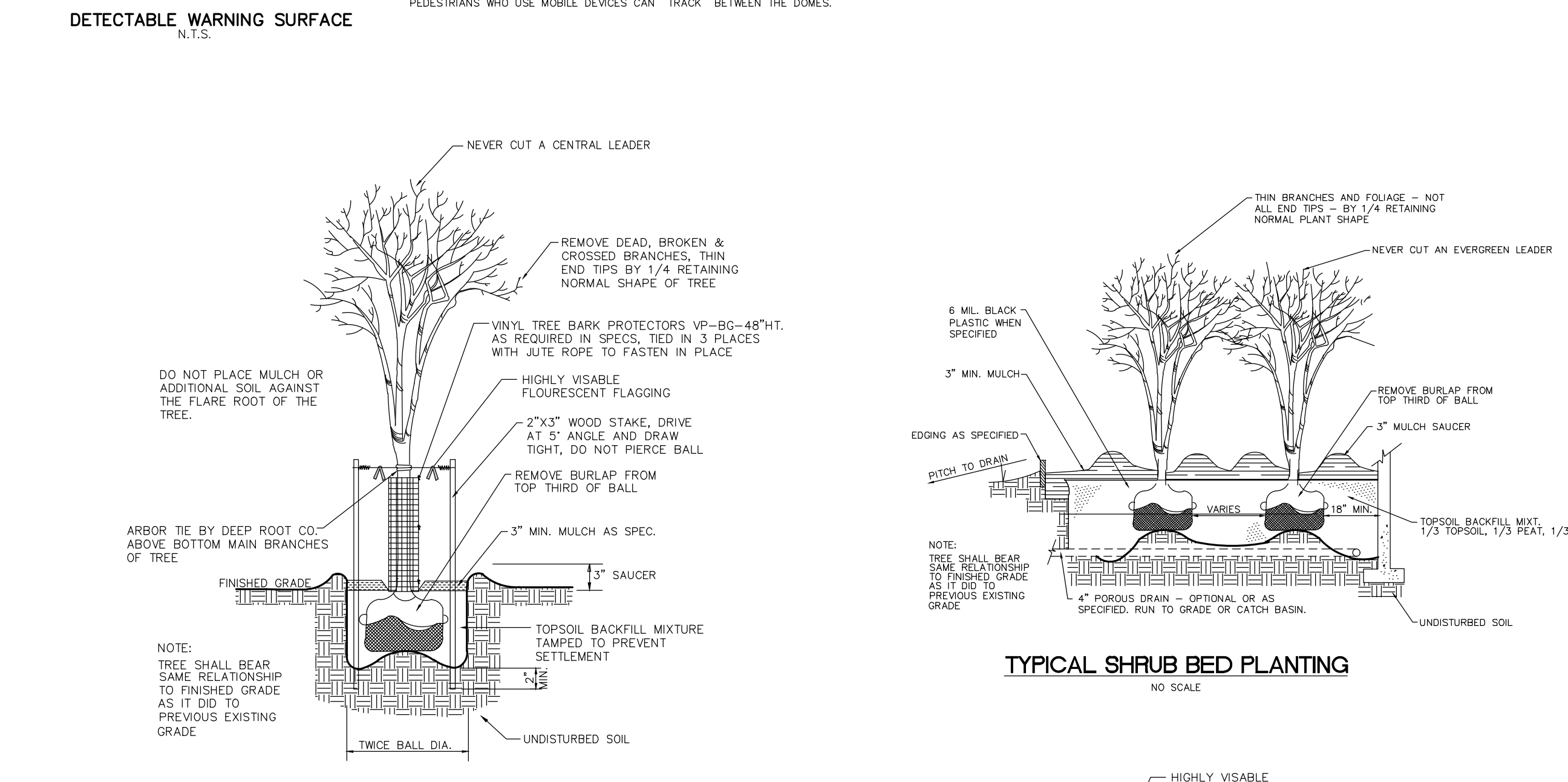
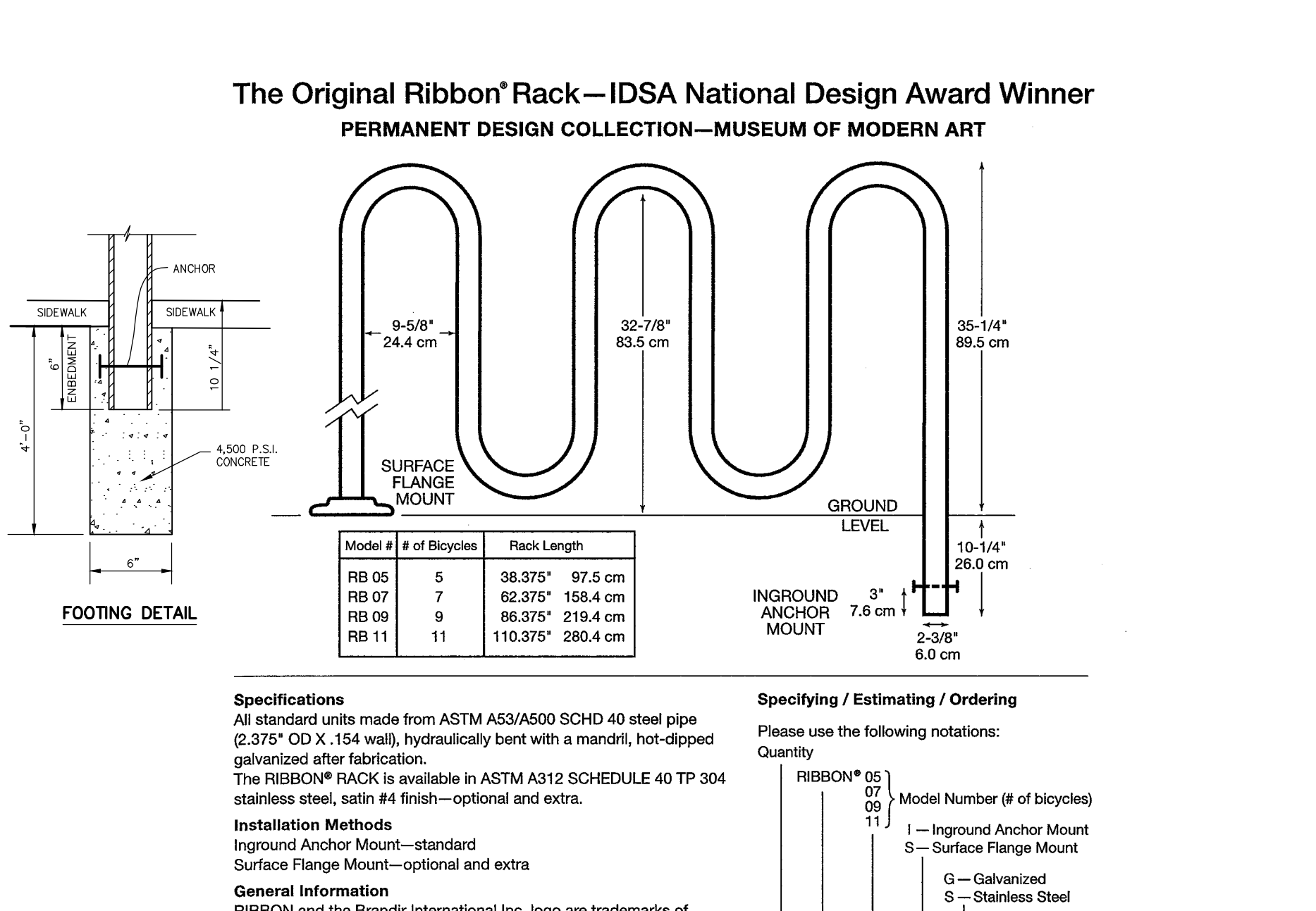
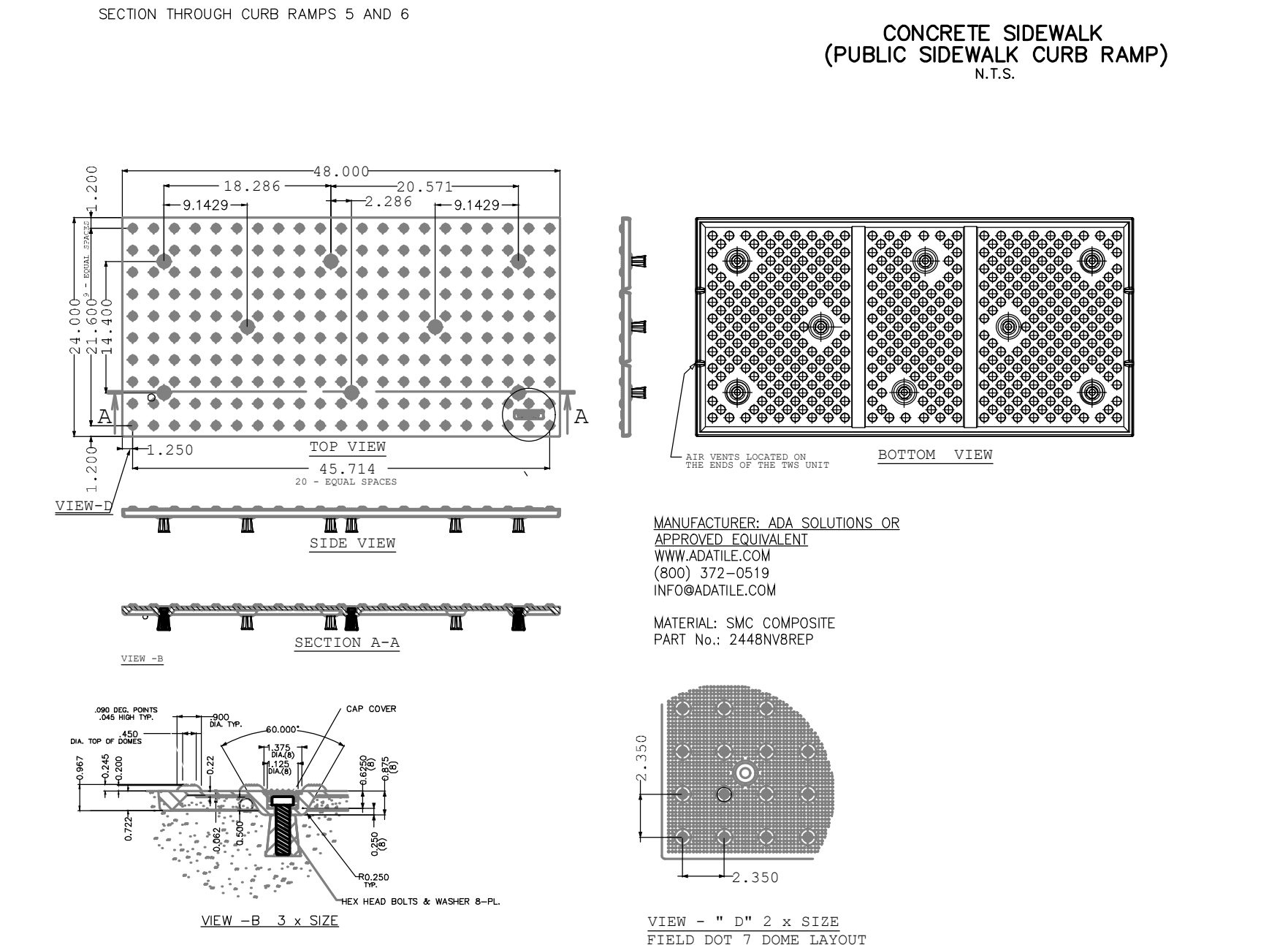
H" CURB HEIGHT	W" CURB WIDTH	R" RAMP	MAX. WIDTH	MIN. WIDTH
3	3	2.50	2.50	5.00
4	4	3.33	3.33	10.00
5	5	4.17	4.17	12.50
6	6	5.00	5.00	15.00
7	7	5.83	5.83	17.50
8	8	6.67	6.67	20.00
9	9	7.50	7.50	22.50

CURB RAMP TYPE 7

H" CURB HEIGHT	W" CURB WIDTH	R" RAMP	MAX. WIDTH	MIN. WIDTH
3	3	2.78	2.78	5.56
4	4	3.70	3.70	7.41
5	5	4.63	4.63	9.26
6	6	5.56	5.56	11.11
7	7	6.49	6.49	12.96
8	8	7.41	7.41	14.81
9	9	8.33	8.33	16.67

CURB RAMP TYPE 2

H" CURB HEIGHT	W" CURB WIDTH	R" RAMP	MAX. WIDTH	MIN. WIDTH
3	3	1.50	1.50	7.50
4	4	2.00	2.00	10.00
5	5	2.50	2.50	12.50
6	6	3.00	3.00	15.00
7	7	3.50	3.50	17.50
8	8	4.00	4.00	20.00
9	9	4.50	4.50	22.50



	DATE: JULY 1, 2020
	SCALE: N.T.S.
	DESIGNED BY: J.A.B.
	DRAWN BY: R.R.F.
	CHECKED BY: J.A.B.
REVISIONS PER TOWNSHIP COMMENTS	JAB 5/24/21
REVISIONS	AUTH. DATE JOB NO. 1804LA

BY: **JAMES A. BASH** N.J. PROFESSIONAL ENGINEER No. 24GE0252800 DATE: 2/10/22

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